



**CONDITION ASSESSMENT REPORT
OF
HADLEIGH GUILDHALL
HADLEIGH
SUFFOLK**



Client: Hadleigh Town Council
The Guildhall
Hadleigh
Suffolk IP7 5DN

Prepared by: The Morton Partnership Ltd & Caroe Architecture Ltd
Old Timber Yard House 23-25 Gwydir Street
55 The Timber Yard Cambridge CB1 2LG
London N1 6ND

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Revision	Date	Comments	Name
0	25/05/2021	Preliminary issue to Client and Team	CP/EJM
1	04/06/2021	Updated	CP/EJM

1.0 Introduction and Clients Brief

1.1 We have been appointed by Hadleigh Town Council to carry out a Condition Survey Assessment of Hadleigh Guild Hall, in Hadleigh, Suffolk. The agreed brief is set out in our letter report dated the 12th of October 2020 (our ref EJM/CH/20548~01 Fee), and repeated below:

- A visual condition survey of the buildings, both internally and externally from all safely accessible positions.
- Provide a description of the buildings to be inspected, any significant and obvious alterations, and highlight the construction materials of the building where this can be established.
- Comment on the roof coverings, chimneys, rainwater goods, walls and any coverings, joinery, internal roof voids, floors, internal walls and finishes (plaster etc); evidence of damp, wood-boring beetle and decay.
- Provide comments about areas of concern, the building's performance etc based on our extensive experience of working on Listed Buildings.

1.2 The survey was undertaken by Ed Morton and Cristian Petrescu of the Morton Partnership over two days, on the 4th and the 5th March 2021 with the weather at the time being mostly cloudy with showers of rain and around 7°C. During the first day, we inspected the roof and external elevations at high-level using a cherry picker, whilst the second visit focused on surveying the interiors.

1.3 Gethin Harvey of Caroe Architecture Limited had assisted with a survey of the buildings concentrating on some architectural elements such as joinery etc.

1.4 During the first day, we were partly joined by Alicja Barnes of Hadleigh Town Council, Gethin Harvey of Caroe Architecture, Kate Pinnock and Ross Ingham of Inghampinnock Associates, and Andrew Morton of AMA-Quantity Surveyors to all whom we are grateful for the assistance on this project.

1.5 We were able to obtain from various sources the following information:

- Drawing "Proposed Electrical Works to L4 & L11", by Purcell Miller Tritton and Partners - dated July 2005;
- Drawing 7233/B-04 Typical Section, by Purcell Miller Tritton - dated November 1990;
- Drawing 7233-04B First Floor, Attic & Cellar Plans, by Purcell Miller Tritton - dated 28/07/80;
- Drawing 7233-07 East and West Elevations, by Purcell Miller Tritton - dated 31/07/80;
- Drawing 7233-08 South & North Elevations of the New Town Hall, by Purcell Miller Tritton - dated 05/08/80;
- Drawing 7233-10 South & North Elevations of the Market Hall, by Purcell Miller Tritton - dated 04/08/80;
- Drawing 7233-45C Conversion of New Town Hall, by Purcell Miller Tritton - dated April 1989;
- Drawing 7233-47 Roof Plan Showing Cavity Barriers, by Purcell Miller Tritton - dated June 1989;
- Drawing 7233B-02 Ground Floor Plan by Purcell Miller Tritton (unknown date);
- Drawing 7233B-03 First Floor Plan, by Purcell Miller Tritton - dated March 1991;
- Assessment of Painted Decoration in the Grand Hall Hadleigh Town Hall, by Hirst Conservation - dated October 2004;
- Condition Assessment, Proposed Treatment, and Treatment Report of the Grand Hall Ceiling of The Guildhall, Hadleigh, by Hirst Conservation - dated February 2005.

1.6 For the purpose of the survey, the complex of buildings will be sub-divided and referred to as per the TMP Markup drawing included in Appendix C, and as follows:

- Market Hall;
- Old Town Hall / Guildhall;
- New Town Hall;
- New Town Hall's Extension;

- 1.7 The report is based on visual observations, notes taken on-site and verified by photographs and should be construed as a comment upon the overall condition of the building, the quality of its structure, and not an inventory of every single defect.
- 1.8 The external and internal fabric, where accessible, were examined for signs of distress, usually indicated by cracking due to movement of the fabric, weathering effects due to temperature or moisture changes and age, timber decay due to water ingress or a combination of these effects or other defects.
- 1.9 The Morton Partnership Ltd. have been involved with the Guildhall Complex since around 1990. This has been advising Purcell on various works to both New Town Hall's extension, the medieval buildings and also as Lead for the repairs of the Grand Hall ceiling.

2.0 Brief Description

- 2.1 The former Market Hall and the Guildhall are both Grade I listed of special architectural and historic interest, under the same List Entry Number in Historic England's National Heritage list for England. The description taken from Historic England is repeated below, although these are not always completely accurate.

- 2.2 *1. 1161 Church Walk Guildhall TM 0242 3/3 26.4.50*

I GV

2. Latter part of C15 with later additions on east and west, a 3 storey wing on south-west and a long wing extending south. Frontage circa 80 ft. The whole building is timber-framed and plastered, roofs tiled. The timber-framing is exposed on the north side of the main building and this is the most interesting and picturesque part. Each of the upper storeys projects on this north front on curved brackets with moulded capitals and shafts – the shafts on ground floor front are panelled and have traceried heads. Some of the timberworks and most of the window mullions have been renewed, but the westerly window of the 1st floor has remains of traceried heads. The Interior includes an open kingpost roof and moulded beams. The wind on east originally projected (upper storey) on both sides but has been underbuilt in brick; the east end is semi-octagonal. The wing on west has mainly C18 characteristics and probably was part of the old Grammar School. The wind on the south-west is of 3 storeys with projecting upper storey on south and the long wing extending south (used as a dormitory to the workhouse in C18) has ground floor brick facing on the east with small panel and date 1780. NMR photos.

All the listed buildings in Church Walk form a group.

Listing NGR: TM0259342421

- 2.3 The form of construction of both the Market Hall and the Guildhall is timber-frame with some sections of loadbearing masonry walls, such as the east and west ends of the Market Hall, and the ground floor level of the Guildhall. The roofs are of timber structure, with crown post trusses, except for the east end of the Market Hall where lateral stability to the timber roof is provided by wrought-iron ties above the Assembly Room. According to an article from 'A New Architectural Guidebook for Hadleigh Guildhall' – Suffolk Historic Building Group, Magazine no. 29, spring 2005, the roof over the Assembly Room dates back from the late 18th century when the east end of the original top storey of the Market Hall was removed and extended to create this room.
- 2.4 The New Town Hall is Grade II listed of special architectural or historic interest. The description taken from Historic England's National Heritage List for England is repeated overleaf, although these are not always completely accurate.

1. 1161 Market Place Town Hall TM 0242 3/229

II

2. 1851 rectangular Italianate building. 2 storey. 5-bay front, centre and flank bays partly slightly advanced and marked with rusticated quoins of stone. Red brick with grey brick bracket eaves and grey brick below band at the springing level of flank arched entrances, with stone voussoirs. The inner 3 bays have arched windows, the centre being Palladian and with sculptured coat of arms below. Hipped slate roof. 3-bay return, east.

Listing NGR: TM0260242389

- 2.5 The Town Hall is an imposing brick structure dating from 1851 and attached to the old town hall to the south side, then projecting westwards. It is of two storeys with the first floor being the Grand Hall, the double-height volume.
- 2.6 There is a slate pitched and hipped roof over, with a projecting timber cornice below, then with the principal structure of brick and stone dressings, with red to the first floor and a Cambridge buff brick to the ground floor. At the west end is a later extension dating to 1989/1990 and we were the structural engineers for the works. This contains a stair and lift and secondary accommodation, principally to allow improved access to the Grand Hall and was designed by Purcell Miller Tritton. The rear elevation faces into the garden and is relatively plain, with some projecting brick piers, with one possibly containing a former chimney towards the west end, and one containing a further chimney at the east end, then with a fire escape down from the first floor.
- 2.7 Internally, the lower ground, denoted Dining Room, contains a principal single space designed or intended originally as a Police Station cells but never utilised, currently used as a bar, with a kitchen towards the north side, stairs at the east and west end and then some secondary WC's etc. in the extension.

3.0 Condition Assessment Detail

3.1 Market Hall

- 3.1.1 For ease of reference, the Market Hall can be further sub-divided in 3Nr. sections, namely the far west / Caretaker's section, the middle / 3 storey range, and the far east section.
- 3.1.2 Starting with the far west section (see photograph 01), this is a 2 storey brickwork built in a later phase than the rest of the Market Hall. The pitched roofs are finished with handmade peg tile covering that appears to be rather weathered, and in some locations, these are broken or slipped. Moss vegetation was also noted throughout.
- 3.1.3 The roof structure comprises a series of pitched roofs abutting each other (see photograph 02). At the junction between pitches, the weathering is achieved through the use of lead sheet, that appear to be in acceptable condition (see photograph 03). Some debris partially blocking the gutters was noted, which would benefit from periodic clearing. Debris build-up was also noted in the valley gutter (see photograph 04). The lines of the roofs look generally acceptable, with no excessive signs of undulation or sag to suggest structural deficiencies, except for the ridge to the back (south) which seems to be rather wavy, indicating greater deflection of the timber members (see photograph 05). The ridges and ridge hips have half-round ridge tiles which generally appear to be in reasonable condition.
- 3.1.4 To the west end of the Caretaker's section there is a porch extension with a double pitch roof over (see photograph 06). The roof coverings are of plain tiles and half-round tiles over the ridge, with lead flashings to the junction with the main building. There is a rather significant moss vegetation build-up covering the tiles, but other than that there are no visible signs of significant defects or structural issues.

- 3.1.5 There are 2Nr. chimneys on the west pitch of the roof over the Caretaker's wing (see photograph 07). The brickwork of the South chimney is in fairly good condition and appears to have been recently repointed. A few fractured bricks were noted, but not of structural concern at the moment. Moss vegetation was noted on the chimney head bricks and flaunching which ideally would be cleared of any vegetation. The flaunching to the North side of the South chimney is delaminating and would benefit from local repairs (see photograph 08). The lead flashings to the chimney stack appear to be in reasonable condition.
- 3.1.6 The North chimney to the Caretaker's range is in a similar condition, with moss build-up noted to the top flaunching and on the chimney head bricks. The brickwork was generally found to be in fairly good condition. The North-west corner of the lower flaunching has started to erode and would benefit from some repair. Debris build-up and moss vegetation were noted to the back (east side) of the lower chimney stack lift to both the North and South chimneys (see photograph 09).
- 3.1.7 The gutters to this section of the building are in fair condition, although they would benefit from a thorough brushing, cleaning and re-painting (see photograph 10). The timber cornice below the eaves level shows signs of decay caused by moisture and the white paint is locally flaking off (see photograph 11). The first floor north elevation comprises timber studs and brickwork infill. Although exposed to the elements, the timbers appear to be in fair condition, with no signs of major defects or decay (see photograph 12). The brickwork was also found to be in generally good condition, with no major cracking or other visible evidence of structural issues.
- 3.1.8 The west elevation also appears to be in fair condition (see photograph 13). The cast-iron rainwater goods are in relatively good condition, although rusty in some areas, and would also benefit from brushing, cleaning and re-painting (see photograph 14). Some white stains were noted to the upper level, close to the eaves, which potentially indicate prolonged exposure to rainwater (see photograph 15). Further down, and in line with this, a downpipe section was noted which stops at approximately mid-height of the elevation which indicates that the moisture stains may have been caused by a defective hopper and failed downpipe, which at some point was removed without being replaced (see photograph 16). The white paint over the timber cornice is locally flaking off, as seen on the north elevation as well. The porch is generally in good condition, with no signs of major structural defects.
- 3.1.9 The south elevation is again of loadbearing brickwork with some climbing plants partially concealing the ground floor level (see photograph 17). At high level, close to the eaves the brickwork appears to be stained, which may indicate historic dampness, potentially caused by a defective gutter. The rest of the brickwork is in good condition and no evident structural defects were noted.
- 3.1.10 Moving to the middle range, the roof coverings look, again, rather weathered and with local moss vegetation build-up. The 3rd ridge tile, counting west to east, is fractured and needs to be replaced to avoid water ingress during heavy rainfall (see photograph 18). To the east end of the middle range there is another chimney stack (see photograph 19).
- 3.1.11 The chimney flues have no cover and some of them have been blocked with steel wire mesh, presumably to prevent birds from nesting inside (see photograph 20). If these flues are not in use anymore, we would recommend chimney caps to be fitted in, provided that ventilation is maintained. The caps would not only protect the flues from nesting birds and airborne debris but also help to reduce energy waste and heat loss. The brickwork appears to be in fairly good condition, although it would benefit from being locally repointed with a lime-based mortar mix as some of the mortar joints have eroded (see photograph 21). The lead flashing to the base of the chimney stack is in fair condition. To the north face of the chimney, a separation crack was noted at the head of the chimney stack, although not of structural concern at the moment (see photograph 22). No signs of out of plumb were noted.
- 3.1.12 To the rear of the middle range there is a cross pitched roof, running south to north, and abutting the two parallel pitched roofs over the main building (see photograph 23). The roof coverings are rather weathered, as seen elsewhere, with some broken tiles noted and local moss build-up.

- 3.1.13 Special attention in terms of maintenance should be given to the secret gutters running at the abutment locations as these are prone to vegetation build-up and water ingress caused by this.
- 3.1.14 The middle range of the Market Hall is a 3-storey high timber frame building, jettied at both the 1st and the 2nd floors (see photograph 24). Minor cracking was noted in the render to the west gable, but nothing significant to indicate structural defects (see photograph 25). To the east gable, below the chimney stack, we noted a more significant crack and live render which would benefit from local repairs to ensure the building remains watertight (see photograph 26).
- 3.1.15 At the eaves level, there is a number of air bricks helping with the ventilation of the roof void to keep the timber dry (see photograph 27). The rafter's feet or possible sprockets (timbers which change the pitch of the roof at the base to slow down rainwater) appear to be in reasonable condition, although water stains are present which is not atypical, depending on the direction of wind blow during rainfall. We also noted that the soffit of the eaves board was damp at the time of our survey. We noted some wood boring insect attack on the timber studs and braces, which again is not surprising given the age of the structure (see photograph 28). Decayed and rotted area in the timber elements were noted as well, albeit not to a significant extent (see photograph 29).
- 3.1.16 Lower down to the 1st floor, there are lead flashings over the jetty plate (see photograph 30). The jetty plate shows signs of rot locally, which is to be expected with structures of this age. In some areas, the decayed areas were pointed with mortar at some point in the past, presumably in the attempt to reduce the risk of water ingress (see photograph 31).
- 3.1.17 Rot was also noted above the central window, between the two timber mullions although this is not of structural concern at the moment and seems to be largely related to sapwood alone (see photograph 32). Furthermore, sapwood insect attack was noted to the beam over the west window (see photograph 33) and some wet rot decay the sill below (see photo 34) The jetty brackets were generally found to be in good condition (see photograph 35). Decay was noted also to the north-west corner post, which is very likely to have been caused by a historic defective downpipe above (see photograph 36).
- 3.1.18 At the ground floor, a lead flashing was also noted above the soleplate level. This is to protect the timber soleplate from any rainwater percolating off the wall down to this horizontal member. To the west window sill, there is a historic scarf repair that looks reasonably well carried out and in good condition (see photograph 37). There is also an open drain along the perimeter of the North elevation which drains the rainwater away from the base of the building (see photograph 38). Dampness was noted to the east end of the soleplate (see photograph 39).
- 3.1.19 The south elevation of the middle range comprises two jettied timber frame walls, rendered, bearing on a presumably later phase brickwork wall at ground floor level (see photograph 40). A timber corner bracket under the southwest corner of the 2nd floor is visible, indicating the presence of a dragon tie within the floor structure. The elevation appears to be in fairly good condition.
- 3.1.20 The roof over the far east wing (see photograph 41) appears to be in a similar condition as the rest of the Market Hall roof, namely with the handmade peg tiles being rather weathered (see photograph 42) and partially covered with moss vegetation, in particular to the west end (see photograph 43) and some slipped ones and a few broken.
- 3.1.21 Adjacent to the middle range, to the east, the 2-storey wing is of load-bearing brickwork construction at ground level and timber-frame at the first floor (see photograph 44). Some of this ground floor brickwork was built in recent times to replace previous doors to this end and when the archive was installed internally.

- 3.1.22 Except for some minor cracking noted in the render, the north and east elevations were found to be in generally good condition, with no clear evidence of movement or other structural defects. More recent brickwork infills of the historic door openings can be seen on the half-decagon shape section of this range.
- 3.1.23 Moving around and looking at the south elevation of the east range, there is a brickwork buttress close to the east end (see photograph 45). Some movement was noted in this location, with a vertical joint crack captured in photograph 46. This at the junction where the brick stack abuts the timber frame, so there is unlikely to be any ties between the two and some differential movement between the different materials is always likely. The odd arrangement might also indicate that this was originally a chimney, but it is difficult to confirm this without an intrusive investigation (creating a small opening-up).
- 3.1.24 The buttress appears to be out-of-plumb, leaning both outwards and towards the east (see photographs 47 & 48). It is difficult to confirm whether the movement is progressing without monitoring it over an extended period, albeit we believe this is historic and occurred prior to the installation of the iron ties, across the roof. Minor cracking was also noted at the first-floor windows level, running eastwards from the sill into the render (see photograph 49).
- 3.1.25 Internally, the Caretaker's range was only inspected briefly. However, no major defects were noted at the time of our visit that would raise concerns from a structural perspective.
- 3.1.26 Starting the internal inspection at the second floor (middle range), the main room at this level, denoted as 'C1' in the archive drawings has on display an original crownpost providing lateral stability to the roof and bearing on a timber tie-beam (photograph 50). To the underside of this timber tie-beam, there are signs of historic wood boring insect attack, although this is not surprising with a building of this age.
- 3.1.27 To the east end of 'C1' room, there is a fireplace and chimney breast which seems to have been added in a later phase as the collar tie running east-west was cut back to allow building the chimney (see photograph 51). More evidence of the original arrangement can be seen in the timber studs on either side of the chimney which show what it used to be a cross lap joint with a timber brace, now removed (see photograph 52). The floor was found to be rather robust and stiff when walking on it. In line with these posts, to the south, there is a tie-beam with filled mortices to the underside which indicate an original partition that was also removed at some point in the past (see photograph 53).
- 3.1.28 In 'C2' we noted live plaster to the south and east walls, but not of structural concern (see photograph 54), except sections may detach. The rooms 'C3' and 'C4' are currently being used as a storage area, therefore difficult to inspect in detail, although no visible defects were noted (see photograph 55).
- 3.1.29 Making our way down one level, the rooms 'C5' and 'C6', at present forming one single room, are also used for storage, making it difficult for us to thoroughly inspect it (see photograph 56). It was noted again that the floor was stiff and robust. From this location, there is an access way into 'C7' through an interesting old timber plank door with historic decoration and old newspaper on it (see photographs 57 & 58). From 'C7' it can be seen that some of the original timber structure was cut back at some point in the past and that the roof structure over this range is modern (see photograph 59).
- 3.1.30 Room 'R5' that can be accessed either from 'C1' above or from the adjacent room 'R3', is rather cluttered at the moment with furniture objects, although no evidence of major defects was noted at the time of our survey (see photograph 60). A circular steel staircase provides access between 'C1' and 'R5' which doesn't show any clear defects either (see photograph 61). The floor, as noted elsewhere, is robust and stiff.
- 3.1.31 As previously mentioned, adjacent to 'R5' there is a hallway denoted as 'R3'. Spanning north-south there is a timber beam whose soffit is exposed and shows signs of, presumably, historic wood boring insect attack (see photograph 62). We also noted a few areas of poor wall decoration in this room.

- 3.1.32 The main room ('R1') at the first-floor level, also known as the Assembly Room has a vaulted ceiling and historic documents show that this was created in the late 18th century when the original 2nd storey of the Market Hall's eastern range was removed and the ground floor and first floor extended with an apsidal end. The north and south walls are tied with iron ties to mitigate the spread of the vaulted roof (see photographs 63 and 64). An interesting feature that we noted is that all the iron ties are rectangular in section except two of them which are circular in section. This might indicate that, for some reason, two of the original ties were replaced at some point in the past with circular sections, or extra ties added.
- 3.1.33 Areas of defective plaster was noted throughout the room, and to the medium and lower level of the wall in particular (see photograph 65 and 66). To the southeast end of the room, a small area of the ceiling shows signs of paint flaking off (see photograph 67). To the northwest corner of the room, there is another room ('R2'), which looking on the archive drawings seems to be a closet, was not accessible at the time of our visit.
- 3.1.34 At Ground Floor level, room 'C16' is again slightly different than what is shown on the archive drawings, namely a partition wall was built at some point in the past to create additional toilets, and a door opening was also created to the west end of the new hallway (see photograph 68). These rooms appear to have been recently re-decorated and do not show any evident defects.
- 3.1.35 Hallway 'L11' provides access from St. Mary's Churchyard into the building and seems to have been recently re-decorated as well (see photograph 69).
- 3.1.36 Room 'R6' at the far east end of the Market Hall, which according to historic documents, was built as an extension in the late 18th century, serves now as an archive and storage room (see photograph 70). Spanning from east to west there is an exposed timber beam whose east end was re-supported at some point to improve its bearing, presumably during the door opening infilling works carried out fairly recently (see photograph 71).
- 3.1.37 Evidence of a historic partition can be seen in the soffit of the beam, which was removed at some point in the past (see photograph 72). To the right-hand side of the east end of the same beam there are a few cracks in the ceiling, although this could easily be made good (see photograph 73). To the northeast end of the room, historic moisture stains were noted at the ceiling level (see photograph 74). In the same area a full-height fine crack was noted at the junction between two faces of the brick apse (see photograph 74). This was approx. 0.75mm wide, therefore not of structural concern and could be easily made good using normal decoration (see photograph 75).
- 3.1.38 The adjacent room, 'R7', is currently used as an office room, having two of the original carved timber-frame posts on display (see photograph 76). Right above the doorway leading to room 'R8' a horizontal hairline crack was noted in the plaster (see photograph 77), which again can easily be made good with decoration.
- 3.1.39 Room 'R8' has a suspended floor which was noted to be rather flexible (see photograph 78) and, again, there are some carved original timber-frame elements on display (see photograph 79).
- 3.1.40 The transition between the east range into the middle range of the Market Hall has a drop in the floor level, reaching a more solid and stiff floor construction. Live plaster and cracking were noted to the right-hand side corner of the door opening to the kitchen area ('R10'), indicating some live plaster in this area (see photograph 80).
- 3.1.41 The far west room within the original Market Hall, namely 'R11' is also currently used as office space (see photograph 81). Above this room, there is a spine beam that had some hogging issues in the past and for which the repairs were designed by The Morton Partnership a number of years ago. This included using a heavy steel plate to add weight and counter the hogging action.

3.1.42 Dampness at the soleplate level was noted along the full length of the north wall (see photograph 82). This was previously proposed to have damp proofing works undertaken, but which were not implemented. We would recommend that the external brick plinth is repointed in hot lime, and the internal apparent cement-based plaster below the soleplate level to be removed and replaced with a lime-based one. Poor decoration was noted to the north side of the fireplace, in the hallway leading to St. Mary's Church (see photograph 83).

3.1.43 We repeat below excerpts from Caroe Architecture Survey Notes:

A Roofs, chimneys and rainwater goods

A.1 The rainwater goods show spots of rust on and redecoration should be programmed in. The gutter run lengths are very long, particularly around the east end. The downpipe serving the attic spaces in the centre of the elevation, is a slightly contrived arrangement requiring a number of offsets and will be susceptible to blockage. Consideration should be given to increasing the capacity to ensure suitability for current and future climates.

A.2 A French drain runs along the foot of the wall and looks to be causing the damp issues noted internally on Room R11 and the Male WCs in what was previously Room C16. Some open joints and deterioration of the masonry could be seen in the sides of the channel. The drainage elements were obscured however moisture damage internally indicates that they are defective. The nature of this type of drain is that it will hold water at the foot of the wall, maintaining a damp environment; it would be prudent to dig out and investigate further around the known issues, however general replacement is recommended to provide more positive ground drainage.

B Walls, windows etc.

B.1 The timbers show signs of general weathering as would be expected but appear to be in sound order generally. There is evidence of previous local timber repair and replacement. A number of open joints/shakes and cracks have also been weathered by pointing with lime. Some of this pointing has worked its way loose and would benefit from renewal or replacement with oakham. A couple of rotten pegs were also noted and should be replaced.

B.2 Amongst the replacements on the north elevation are the second brace and post from the west which have shrunk considerably as they have seasoned, leaving wide open joints between the members and along the wall. There is slight greening to the sole plate and base of the posts directly above the French drain. The sole plate is capped with leads which can be seen internally. In places this may hold water around the foot of the posts leading to decay - notably below the window to the east of the door – window 84. Localised piecing-in repairs would be advised here.

B.3 Fine horizontal cracks run through the render in a small number of the infill panels on the upper floor. The easternmost panel gave a hollow sound when struck and felt loose around the crack. Opening up will be necessary to ascertain the condition of the substrate; repair and re-rendering will be necessary.

B.4 There are also issues with the infill panels at first floor level. A small loss was noted to the west side of window 46 (**IMG_01**) and another between windows 42 and 43. The underside of the tilting fillet above and a number of the exposed rafter feet behind the gutter were water stained. The two panels to the west of window 43 were bulging, slightly loose with small cracks and detaching sections (**IMG_02 & 03**).

B.5 The infill panels are starting to delaminate beneath the sill of window 40 (**IMG_04**). Patch repairs have been made to the render on the adjacent return but cracks have since reopened. The timbers in this area also show more pronounced deterioration and may well be associated the awkward downpipe configuration which will be susceptible to blockage and overflow (**IMG_05**). These also require opening up; a combination of consolidation and removal/re-rendering should be anticipated. Similar issues could be seen to a much lesser extent more generally.

- B.6 Diagonal cracks have developed through the render, from the jambs of the windows around the east end. The joint between the buttress and the render on the south side has also opened. All will permit water entry and should be pointed.
- B.7 Window 40: This is a particularly valuable window which retains some of the original tracery.
- B.8 Window 41: The infill panels above are have become friable and are in need of consolidation. There is some decay across the head of the window accompanied by a high number of slight holes. The timber feels soft and will likely require an indent repair in due course.
- B.9 Window 42: Slight rusting to the metal casement which should be redecorated. Local deterioration off the lead comes. The rendered finish of the small infill panels between the beam ends of the jetty are suffering similar issues to those above window 41. The beading at the top of one the apertures has come loose and should be re-fixed.
- B.10 Windows 43-48: Some local deterioration off the lead comes, notably in window 45 but generally looked sound. The joinery is unpainted and looked to be reasonable condition.
- B.11 The joinery decoration to the windows around the south and east elevations has deteriorated. Maintenance works are required to repaint with suitable linseed paint or similar, before the timber elements decay.
- B.12 Windows 38, 39 and 80, 81 at the west end all look to be well maintained, as do those at low level on the south elevation. There is some limited deterioration of the paintwork upper level windows on this side (34, 35, 36 and those to the attic rooms). Redecoration should also be considered here when access becomes available.
- B.13 There is some staining across the render on the south elevation of the west end - where water from the upper downpipe looks to overflow the eaves gutter and splash onto the roof below. There are drip marks through the limewash where water tracks beneath the jetty.

C Internal Spaces – Ground Floor

C.1 Room R7

- C.1.1 Door D86 has a large split through one of the upper panels but remains stable.

C.2 Rooms R8, R9 and R10

- C.2.1 There was also some hairline cracking in the plaster above the arched openings in the midpoint. This looks to be superficial although any loose plaster should be removed before it falls, and renewed accordingly.
- C.2.2 Cracking runs through the plinth below the sole plate on either side of the south wall – between the office and kitchen (R10). This may well be associated with shrinkage /deformation of the replacement sections of timber although opening up investigation is advised and consolidation of the plinth masonry required.

C.3 Room R11

- C.3.1 Currently used as an office space. The wall to ceiling joint line has opened up around the west end of the main beam, creating a gap which tapers out to either side - running continuously across timber elements and infill panels. This should be filled and monitored to establish whether there is any current and on-going issue.
- C.3.2 The sill and sole plate below window 82 are stained where rainwater is penetrated the envelope through/around the scarf repair. Overhaul is required to make weather-tight. Local deterioration on the sill of window 83 was also noted and should be included within the repair scope.

C.4 Room R12

- C.4.1 Male WC: Small toilet incorporating standard cubicle for WC. Window 54 is a small, 4 paned timber casement window with a small net curtain which has detached. Frosted film could be considered to improve privacy. The window itself is in sound order.
- C.4.2 The main door is a thin boarded, ledge and braced door with Suffolk latch. Local impact damage from the latch on the wall which should be made good and a door stop installed.

D Internal Spaces - First Floor

D.1 Room R4 circulation space

- D.1.1 Carpeted staircase providing vertical circulation between ground and first floor levels with Male WC accessed from the ground floor landing. There was some sponginess to the lower landing which should be checked when the carpet is next raised. Otherwise the stairs felt secure underfoot and benefit from good contrasting markers on the nosing and emergency lighting provision over both landings. The timber handrail to the east side is of reasonable interest and bears some minor scuff marks but is generally of sound order.
- D.1.2 At first floor level boarded facings have been installed to the sides of the beams. The visible timber appeared to be in reasonable order although the condition beneath the facings was obscured; there is some blooming on the boards where decorated to match-in with the beams. Some minor cracking was noted in the north and south end walls - running horizontally below the ceiling to the north and diagonally down from the beam in the centre of the wall to the south.
- D.1.3 The double door emergency exit (D44) on the east side requires further descent from the bottom landing. Due to the configuration of the stairs, there is no space for a landing at the doors (**IMG_06**).
- D.1.4 Door D39 is a panelled fire door with closer. Hairline cracking was seen through the skim finish around the door frame - running to the ceiling above the head of the door and through the ceiling above. There are a number of scrapes on the joinery - presumably from equipment/furniture being moved into the Hall from outside.

D.2 Room R13 Female WC (First Floor)

- D.2.1 Not accessed for inspection. The entrance door - DF18 was a 4 panelled timber door in sound condition.

D.3 Room R1

- D.3.1 As elsewhere much of the paint looks to be emulsion and is starting to peel in a number of places on the ceiling, notably above the gallery at the west end.
- D.3.2 One floor board was noted to sit higher than those surrounding presenting a minor trip hazard.
- D.3.3 South side windows (8-10) - Two light windows with fixed leaded panels of clear glass quarries and side hung, opening iron casements in one of the main lights.
- D.3.4 North side windows (43-48) - Two light windows, alternating between tall and short openings. All have fixed leaded panels of clear glass quarries; the taller windows have a bottom hung opening casement above the transom.
- D.3.5 East end windows (5-7) - Six-over-six sash windows with significant historic distortion to windows 5 and 7. The bottom rail looks to have been shaped to fit but remains slightly ill-fitting in the apertures and stiff to close. There is a notice in the end window (window 6) advising that the window should not be opened. There is some deterioration of the painted decoration externally and the putty has cracked. Overhaul would be advised.

- D.3.6 The plaster looks quite fragile in places - more generally towards the east end. There is some local damage above the radiator on the south wall (east end). The surrounding plaster is loose and should be consolidated and made good. To the north side there is some shadowing on the skirting from a removed fixture. The associated wire has been cut and left and must be removed or terminated properly (**IMG_07**).
- D.4 Room R5
- D.4.1 Blinds and cable cables have been fixed to the beams across the north wall. As a general note, here and elsewhere within the building, fixings in to the highly sensitive historic parts must be avoided and any new cable/service routes must be carefully planned.
- D.4.2 The exposed beam running east-west through the centre of the ceiling has historically pulled out from the joint with the cross beam at the west end. The surrounding plaster remains in good condition and well-fitting indicating no recent movement. There are some quite long and significant shakes towards the east end. These too are historic and have been filled with lime although this looks to be loosening due to seasonal movement and will need renewal before it detaches.
- D.4.3 The plaster finish between windows on the north wall sits proud of the beam and has been finished untidily with the lack of a 'stop,' particularly between windows 41 and 42. There is some minor detachment of the plaster and some hollowness in the main parts but this generally to the plaster but looks to be secure.
- D.4.4 There is some historic decay on the east side of the beam made visible by the removals. A handful of flight holes were also noted in this beam and other neighbouring timbers including the next beam to the north and the exposed rafters above. It is suggested that the surrounding surfaces be monitored for dust/frass piles during the Spring which would indicate live beetle activity.
- D.4.5 Two hairline to 1mm cracks run emanate from the beam on the south side of the newly created opening; the adjacent plaster gave a hollow when struck, indicating local detachment. The cracks should be checked periodically for any worsening (**IMG_08**). Local opening-up may be necessary to determine the condition of the underlying fabric. The next beam to the north had a significant shrinkage crack but looked to be sound.
- D.4.6 Window 40 is of two lights of leaded plain glass panels set into the timber frame. The sill has decayed internally; the lead comes are peeling back in places and a number of splits have developed at the joints. Overhaul to re-solder or re-lead is necessary.
- D.4.7 Window 41 matches window 40 and has suffered similar issues although the leadwork generally appears to be in better condition and has been pointed around the jambs to ensure weather tightness.
- D.4.8 Window 42 is now visible from this room following removal of the partition and installation of the spiral staircase. This a four light window of fixed leaded panels with two opening casts in the centre-lights. The bottom half of the window has been protected with perspex to prevent damage by traffic on the spiral staircase to the 2nd floor rooms. There is some opening in the joint between the centre mullion and the window head although this feels secure; this window has been subject to previous overhaul and timber indents are evident in the east jamb. There is some peeling back of the lead comes which should be reviewed in conjunction with any repairs to windows 40 or 41.
- E Internal Spaces - Second Floor
- E.1 Room C1
- E.1.1 The room houses a magnificent example of a screen passage which is carved to both sides. It is understood that this was not part of the Guildhall and was brought in from elsewhere. It is now anchored to the wall plate on the west side.

- E.1.2 There was a lot of debris around the staircase due to paint flaking from high-level on the gable wall to the north of the chimney stack, (**IMG_09**) and moisture staining to the south. This is likely associated with penetration through the envelope and will be described elsewhere. Internal moisture levels will be problematic if sufficiently high to provide conducive environments for beetle activity. Further flaking of surface finishes was seen at low level in the panels below the window to the Hall and around in the south east corner.
- E.1.3 There were a number of timbers which showed more extensive evidence of beetle attack than those mentioned in the preceding section. A possible frass pile was seen on the floorboards towards the alcove on in the south east corner. As well as monitoring for further deposits, consultation with an entomologist may be considered.
- E.1.4 There is significant decay around the jowl post to principle jointing on the south side of the eastern bay (**IMG_10**). The full extent of voiding was undetermined and would warrant further investigation and potential strengthening.
- E.1.5 The same joint looks to have (pulled away from the all plate in the next truss to the west although the condition of the plaster indicates this to be historic. This is mirrored on the north side of the same frame where old pointing to fill a similar issue, has detached from the wall plate again. The more recent decoration to the adjacent infill panels do not show signs of further movement.
- E.1.6 A small glimpse of possible glass wool insulation in the gap between the plaster and the chimney stack although its extent is unknown. Ventilation holes do seem to have been introduced to the plaster ceiling, at the ridge. There is some moisture staining on the rafter ends and wall plates on both sides. Again, these may relate to previous leaks although the importance of maintaining a weather-tight roof covering should be stressed.
- E.1.7 The door to the stairwell in the south west corner is quite heavy and is only held at the top; the bottom gudgeon misses the pintle and the door should be re-hung (**IMG_11**).
- E.1.8 The lime infill to the redundant mortices to the south of the chimney in the easter bay, has worked slightly loose and should be removed/renewed in due course.
- E.1.9 The windows are of two lights with timber frame and metal casements incorporating leaded panels. There is slight rusting to the metal work and evidence of moisture ingress around the sills which should be addressed (**IMG_12**).
- E.2 Stairwell to C2
- E.2.1 The plaster is quite grimy and has a number of black mould spots indicating high moisture levels and regular condensation. It has been touched up in various places previous although there are a number of wider cracks - approx 2-3mm - extant in the plaster which warrant further investigation (**IMG_13**). One of the landing floorboards has come loose and should be re-fixed. Careful lifting beforehand could provide valuable insight into the condition of the floor void although the board does run beneath the end wall.
- E.2.2 The stairs are steep and would not be compliant by modern standards. There are handrails on either side although emergency lighting provision should be improved. There is a cut end to a redundant wire on the west side, which should be removed or terminated correctly.
- E.3 Room C2 (upper landing)
- E.3.1 Hairline to 1mm diagonal cracking in the east end wall, potentially associated with movement causing the cracks above the stairwell.

E.4 Room C3

- E.4.1 Created by a very thin partition to from the landing. The door is also of thin boarding. There is some decay visible in the surfaces of to the west of the window. The joint between the rail and stud has opened slightly and the infill panel has started to detach. Further investigation is recommended.
- E.4.2 The window timber framed with two lights incorporating a fixed leaded panel in the east and metal casement with leaded panel to the west.

E.5 Room C4

- E.5.1 A ceiling hatch provides access to the roof void but was not accessible during the inspection. There are a small number of hairline cracks through the plaster on the walls and ceiling but none providing major cause for concern at present.
- E.5.2 The window mirrors that seen in Room C3 and looks to be in reasonable condition.

F General

- F.1 Consideration looks to have been given towards compartmentation of the newer parts of the south range where a number of doors are labels as fire doors. The restrictions of the historic fabric - particularly in the older timber-framed sections will challenge the ability to comply with modern standards. Floor/ceiling voids will likely breach any potential compartment notwithstanding the fact that much of the original construction will have minimal resistance the spread of fire. Any assumed compartmentation should be recorded on a current survey and reviewed as part of the building's fire safety strategy; the actual fire resistance of any identified boundaries must be also be verified. Other mitigation measures such as suppression systems may be necessary and should be discussed with a Fire Consultant. Fire detection fixtures and firefighting equipment were noted although none have been tested. The extent of their provision should also be subject to this review.

3.2 Old Town Hall

- 3.2.1 The roof over the Old Town Hall / Guildhall is, similarly to the Market Hall roof, covered with hand-made peg tiles and half-round ridge tiles. The east and west roof pitches are rather weathered and show similar defects seen elsewhere, such as debris and moss build-up, slipped or broken tiles and in some areas undulations in the ridge line (see photographs 84 & 85).
- 3.2.2 To the south end of the roof, where this abuts the New Town Hall, there is some moss build-up partially blocking the lead valley gutter (see photograph 86). Moss can be seen also on the strip of roof adjacent to the North elevation of the New Town Hall, although this is inevitable due to the lack of sunlight in this area.
- 3.2.3 To the west side of the roof, there are 2Nr chimneys, both laterally restrained at high-level through the use of iron ties. The north chimney is in relatively poor condition, with one at least on missing brick (see photograph 87) and the top flaunching partially missing (see photograph 88). One of the top bricks appears to be loose and should be removed for safety reasons. The chimney stack would also benefit from repointing using a lime-based mortar mix. The south chimney appears to be in better condition, although moss vegetation is evident and should be removed when practical (see photograph 89). Close to the mid-span of the ridge, there is 'tower' vent with lead flashing that appear to be in reasonable condition (see photograph 89).
- 3.2.4 The east wall is bulging out at first-floor level rather significantly - we believe the movement is historical and there is no evidence to suggest this is still progressing (see photograph 90). The original jetty beams above the ground floor were at some point in the past concealed when the ground floor wall was rebuilt in line with the 1st-floor elevation to gain extra room inside the building. Such under-building is relatively common for jettied buildings.

- 3.2.5 To the west elevation the jetty beams are still visible, with the ground floor elevation retaining its original location (see photograph 91), but probably re-built in brick. To the north end of the elevation, there is a, presumably, later phase brickwork lean-to annexe. Some of the bricks of this annexe had delaminated and eroded mortar joints can be seen as well (see photograph 92).
- 3.2.6 Further to the south and adjacent to the lean-to is the south chimney that we previously mentioned. Although the brickwork is locally delaminated and, the structure doesn't show any evident signs of distress (see photograph 93). On the south side of the chimney, moss vegetation and eroded mortar joints can be seen, to the lower section in particular (see photograph 94).
- 3.2.7 There is evidence of historic structural alterations to this elevation as well, such as the presence of mortices in one of the jetty beams, indicating a former timber brace and post in this location which at some point in the past was removed (see photograph 95). This is not of structural concern, but interesting in terms of the development of the building and its different construction phases.
- 3.2.8 In between the centrally positioned door opening and the south window adjacent to it there is a rather crude timber repair to the soleplate of the timber-stud wall above (see photograph 96). The north chimney is in a similar condition as the south chimney, with a few spalling bricks noted and moss vegetation locally, to the lower level (see photographs 97 and 98).
- 3.2.9 To the south end of the Old Town Hall elevation, at first-floor level, we noted a soleplate repair and a slightly different nuance in the render which corresponds with a former access way from the courtyard into the building (see photograph 99) and shown on some of the historic drawings.
- 3.2.10 The main public access into the Guildhall is through an extension of the building (see photograph 100). At ground floor level, internally, there are some male WC's to the south end of the annexe, which are generally in fair condition, then a staircase to the north leading to the female WC's to the south end and to a hallway denoted in the archive drawings as 'R4' (see photographs 101 & 102).
- 3.2.11 From the ground floor entrance, there is also a hallway built as a partition within the original open space room 'L4' which leads to a small kitchen ('R10') serving the offices in the Market Hall. The hallway in question looks in reasonable condition from a decoration perspective and no evident defects were identified (see photograph 103). The kitchen also looks in reasonably good condition, although historic damp stains were noted to the north end of the east wall (see photograph 104).
- 3.2.12 The ground floor main room, 'L4' as denoted in the archive drawings, was generally found to be reasonably well maintained (see photographs 105 & 106). The east wall, as previously mentioned, was rebuilt at some point further out and in line with the wall above to maximise the room space. This is confirmed by the jetty beams and joists where, at the once exposed east ends, the depth of the section is larger revealing the position of the original wall (see photograph 107).
- 3.2.13 On the west side of the room, there are two fireplaces whose chimney structures have been described earlier in this report. The south fireplace is currently blocked and shows signs of historic dampness at low level (see photograph 108). Consideration should be made for allowing the chimney structure to be ventilated internally to avoid further dampness. To the north chimney breast, a minor vertical crack was noted above the fireplace lintel, although not of any structural concern (see photograph 109).
- 3.2.14 An interesting detail that can be seen by looking at the ceiling is the presence of two historic trimmer beams that indicate the possible location of an original (now removed) internal stair connecting the main ground-floor room with the gathering room above (see photograph 110).

- 3.2.15 At the south end of the room, two small rooms were created at some point, namely 'L5&L6' and 'L7'. 'L7' appears to have been used recently as a kitchenette (see photographs 111 & 112). 'L5&L6', which on the archive drawings are shown as two separate rooms which means the partition between them was removed recently, is currently used as an electrical room, and no major decoration defects were noted (see photograph 113).
- 3.2.16 Right above 'L4' and with a similar layout there is another gathering room, denoted as 'L1'. Looking to the north wall, there is an exposed timber-frame section to the upper level (see photograph 114). This must have been part of the South elevation of the Market Hall prior to the construction of the Guild Hall.
- 3.2.17 There are two access points to the Market Hall from this room, one of which has been infilled at some point. The room is rather large and has a series of crown-post trusses partially exposed. The structural timber appears to be in fair condition given its age, and in some locations, timber repairs and replacements can be seen, to the window sills in particular (see photograph 115). The plaster appears to be in fair condition and no major defects were noted.
- 3.2.18 Close to the south end of the room, in between windows '17' and '18' (as denoted in the archive drawings), the outward bulge of the east wall is most evident (see photograph 116). Aligned to the far south truss, a modern partition wall was built at some point to allow the creation of a kitchen ('L2'). The kitchen seems to have been recently decorated and no major defects were identified at the time of our visit. The floor is covered with a vinyl type finish, therefore could not be inspected (see photograph 117). From 'L1' and through a hallway there is a transition area that leads to the New Town Hall (see photograph 118).
- 3.2.19 We repeat below excerpts from Caroe Architecture Survey Notes:
- F Roofs, chimneys and rainwater goods
- F.1 The roofs to this section follow the same description of those on the Market Hall. See comments above.
- F.2 The north chimney is in poor condition. A modern chimney pot has been installed and the other two flues have been cowled. The pointing within the upper levels of the chimney is significantly weathered and the downpipe serving the gutter between chimneys is blocked, possibly damaged, at high level and has been leaking over the chimney for some time (**IMG_14**). A general overhaul is required and should include redecoration of the bracing.
- G Walls, windows etc.
- G.1 West Elevation
- G.1.1 As with the other elevations cracking has developed through the render around the window openings. The exposed beam ends in the jetty have suffered numerous splits and weathering. Local replacement can be seen to the south of the door with previous repair to the bressumer also. A section of pointing has failed beside the post next to window 74. There is also some local decay to the bressumer in the south bay; local repairs may be necessary here in due course. Water traps should be pointed or filled with oakham to stave off continuing degradation. The windows themselves looked to be in reasonable condition at present.
- G.2 East Elevation
- G.2.1 The windows looked to be in reasonable order although the paintwork is beginning to flake in places and redecoration should start to be programmed in.

H Internal Spaces – Ground Floor

H.1 Room L4

H.1.1 The beam ends are in remarkably good condition where they would have been exposed beneath the jetty prior to being under-built in brick. A number of the ceiling joists have pulled out from the cross beams, particularly on the west side (**IMG_15**) as have the cross beams from the principals where the joints have opened significantly (**IMG_16**). Many of the shakes have been filled with lime, which has suffered local losses over the years and a number of indent/splice repairs are evident. Shadow marks on the beams above the north end of the west end wall show that they have pulled out from the joint.

H.1.2 The ceiling plaster generally remains well-fitting and in good condition indicating this to be the case. It however would be prudent to ensure this is checked periodically to ensure there is no continuing movement.

H.1.3 There is a considerable downward slope in the exposed ends of the jetty which can be seen on the north wall (**IMG_17**). The arched braces have been pushed away from the bressumer creating a significant gap which would benefit from a secure infill to provide a simple indicator for any further movement.

H.1.4 Similar shrinkage cracks, shakes and open joints could be seen where the beams are exposed in the amenity spaces at the south end, although these again appear to be long-standing and historic. There is some staining to a couple of the beam ends above the sink.

H.2 Room L11 Ground Floor Circulation

H.2.1 Generally looks to be in reasonable condition. Slight cracking of ceiling plaster away from the beam on the west side which should be replaced before it detaches. Shrinkage cracks in some of the beams which have historically been filled with lime which has worked its way out in places.

H.2.2 The braces have been removed from the opening leading from the entrance lobby to the store room. The joints between the posts and lintel have opened historically. It does not appear to have moved recently although is placing some stress on the pegs/tenons and discrete support may be beneficial.

H.3 Store room from L11 (constructed since PMT drawings)

H.3.1 Exposed east-west beam incorporating bolted scarf joint, and cross beam. The timbers bear evidence of previous limewash finishes and appear to be in sound condition, notwithstanding spots of local decay and a small number of flight holes.

H.3.2 Male WC: Small toilet incorporating standard cubicle for WC. Window 54 is a small, 4 paned timber casement window with a small net curtain which has detached. Frosted film could be consider to improved privacy. The window itself is in sound order.

H.3.3 The main door is a thin boarded, ledge and braced door with Suffolk latch. Local impact damage from the latch on the wall which should be made good and a door stop installed.

I Internal - First Floor

I.1 Room L1

I.1.1 There are a number of access points; one from Room R3 to the north, one to the east and one to the north. The kitchen (Room L2) is accessed to the north. The stairs from Room R3 are timber with painted nosings. The bottom step is set out from the door threshold, providing a lower riser and therefore a potential hazard for slips/trips. The area is reasonably lit and does benefit from a handrail on either side (**IMG_18**).

- I.1.2 There has clearly been major structural movement in the frame as can be seen by the substantial outward lean in the east wall which may well have played a part in the decision for under-building the original jetty. Many of the framing joints have pulled apart as a result, notably around the arched braces where a number have detached from the wall-posts sufficiently to snap the pegs with a lot now missing (**IMG_19**). Strapping has been installed to secure some although there remains at least one on the west side which but would benefit from a similar stabilisation (**IMG_20**).
- I.1.3 A longer strap could be also seen emanating from the north east corner, fixed across the timbers on the east side of the northern bay with local timber renewal over door DF39. A redundant cable has been coiled above the door and should be removed or appropriately terminated.
- I.1.4 Open joints remain extant in other areas of the carpentry however the current condition of the surrounding plasterwork indicates that these are generally long-standing matters with little movement since the latest decoration. Most have been pointed at some stage with lime, which has since been lost in places where it has worked loose through seasonal movement. Minor hairline cracking has opened around historic deformations in the pitched ceiling in the north west corner. Similar historic issues could be seen in the north east corner but with no discernible reopening.
- I.1.5 More recently there has been a significant renewal of timbers around the windows openings. Whilst these generally remain in sound condition some distortions and shrinkage have left further open joints as the new timbers have seasoned: between window 16 and its replacement sill which has bowed slightly and the replacement posts and sill to window 32. These would benefit from infill using lime or burnt sand mastic.
- I.1.5 The windows themselves are 2-light, timber framed with fixed leaded panel in one and metal casement with leaded panel in the other. Typically these were found to be in reasonable order. Consideration maybe given to sensitive improvements to draft proofing where the casements do not form a tight seal.
- I.1.6 Significant moisture staining was evident in the plaster to the north side of window 32 and is associate with external issues with the downpipe and chimney stack (**IMG_21**).
- I.1.7 An appropriate junction box should be fitted around the exposed wiring terminal block, seen at the north end of the 3rd bay (west side). It was also noted that a number of holes have been drilled to accommodate modern services and fixtures (**IMG_22**). Any future works must be carefully planned to avoid irreversible loss of the highly significant fabric.
- I.2 Room L2
- I.2.1 Accessed from Room L1 and fitted with commercial kitchen fixtures but only one small extractor fan in the south west corner. It appears that attempts have been made improved fire resistance by lining out the walls. Assumed compartmentation must be reviewed and actual fire resistances verified before reliance as part of the fire safety strategy.
- I.2.2 The Window 29 is 3-light with transom, timber-framed with fixed leaded panels and one metal casement to either side. All appeared to be in reasonable condition.
- I.2.3 Stepped cracking could be seen around the ceiling boards in the south west corner, with slight diagonal cracking in the walls below, and can be filled and decorate, then checked periodically for any further movement.
- 3.3 New Town Hall
- 3.3.1 There is a slated hipped and pitched roof over the main building and which we understand originally had a large lantern at the centre, which can be identified from historic information and also from the roof layout internally. Although access close to the roof coverings was not possible, from the cherry picker and at distance, the slate roof coverings appear in reasonable condition.

- 3.3.2 All the front elevation gutters are in need of cleaning and decoration, as well as the board that they are fixed to, along with the timber dentals below. Some of the boarding could be decayed. The masonry elevation itself generally appears in a not unreasonable condition. The stone which is possibly a Bath stone has a degree of detritus and pollution on it but generally appears in a not unreasonable condition.
- 3.3.3 Odd stones (see photograph 119) are slightly decayed from natural defects in the material, rather than fundamental issues. Some gentle cleaning could be considered, although it would not be appropriate to over clean. The brickwork has various areas of different colour pointing, some in apparent cement and with possible replacement bricks (see photograph 120), the pointing is generally working reasonably well, although there are some very local areas of lost pointing. Whilst this could remain unattended to, if scaffold was erected, then some consideration could be given to carrying out these works. Certainly, the odd bricks which appear to have been replaced stand out and could be toned down.
- 3.3.4 There are little signs of movement to the elevation, however, at the west end there is a possible minor diagonal movement crack running at high level. This has been pointed in and does not appear to have re-opened, so is not considered a concern. There are a number of iron fixings and there is a horizontal line running halfway up the upper windows, which is pointing and which may relate to some corrosion of these fixings, or possibly some inbuilt iron although this cannot be confirmed. Iron fixings are generally best to be removed before they corrode and expand too much.
- 3.3.5 At the centre of the elevation there is a stone cast shield that is starting to weather and would benefit from some conservation work. The lower band of Cambridgeshire white bricks, generally appears in reasonable condition with some evidence of penny struck joints.
- 3.3.6 Some slight movement over several of the ground floor windows over lintels and the white-painted apparent concrete appears to be a later addition although the reason is not quite clear. The centre window has cracking to the reveal in line with the lintel, perhaps suggesting some differential thermal movement (see photograph 121). An alternative is the short lintel bearings may be leading to a high concentration of load and thus causing the cracks. This repeats to the west window, which also shows some signs of movement above.
- 3.3.7 There are a number of ventilation grilles through the brickwork at high level and below. The centre window has a stone threshold and infill brickwork suggesting that this may have been an opening into the lower ground floor.
- 3.3.8 At the base of the elevation there is Yorkstone paving extending out to the kerb line, and some of the brickwork at low level is more deteriorated with loss pointing with some vegetation at the base, but all in good structural condition (see photograph 122).
- 3.3.9 The east elevation is a similar layout with a single first-floor window. There is a noticeable runoff from the stonework, also obvious on the front elevation but to a lesser degree. The same comments apply with regards to the gutters and high-level timber work. More cabling and electrical fixtures are running along this elevation, which would benefit from some tidying up and consolidation.
- 3.3.10 Below the window and offset is an iron bracket, possibly for a former light in the corridor or walkway between the Town Hall and the Corn Exchange (see photograph 123). Fixings from apparent cabling run down the wall but are now redundant. The pointing to the upper brickwork is black tinted and generally appearing in reasonable condition, with minor areas of the previous repointing which have been done poorly in cement.
- 3.3.11 The lower Cambridgeshire white brickwork again has signs of penny-struck joints, whereas the same lintel running over the door head has signs of corrosion to the base, so maybe a steel box lintel (see photograph 124). The west elevation returns at the north end for a short distance before it meets the new Town Hall, with some of the stonework to this corner eroded. A timber cornice then projects along this elevation with the dental brackets below, then continues on to the west side of the new Town Hall.

- 3.3.12 The majority of the west elevation is covered by the extension, but at high level some of the brickwork to the Town Hall are visible. There is a chimney rising up centrally through the roof coverings, which appears to lean in a slightly eastward direction (see photograph 125). It is relatively tall and slender and with red flashings at the base where it dresses through the roof. It will need to be assessed for stability when high-level access is available.
- 3.3.13 The extensions being recent are all in reasonably good condition, with the slate and lead roof coverings appearing sound. There is some staining in odd places from runoff, as there are some previous service pipe holes that could be made good. The gutters are corroding and need decorating, as does the high-level joinery cornicing etc (see photograph 126).
- 3.3.14 To the north elevation extension there is an overflow pipe that is constantly dripping, with the brickwork surrounding this appearing saturated and the overflow should be investigated (see photograph 127).
- 3.3.15 The north elevation of the Guild Hall as previously indicated is relatively plain (see photograph 128). Towards the east end, a chimney rises up from ground level and appears in reasonable condition, but has been pointed in a cement-based mortar (see photograph 129). There are no particular signs of evidence of any significant movement to the main elevation.
- 3.3.16 It could be noted that there is evidence for either painted brickwork or plasterwork and with an arch that presumably was previously a door into the Great Hall (see photograph 130). Drawings from 1980 show that there is a stair and enclosed walkway which provided access from the new Town Hall area, currently been converted into a kitchen, then into the Great Hall with an arch over where the opening was. This must predate the addition of the fire escape stair which currently exists.
- 3.3.17 Towards the east end, there is Ivy growth at low level which should be cut back and removed. There is an area of pockmarked brick which probably relates to where the stair rose up. The overall condition is reasonable with no significant signs of structural defects or significant fabric concerns. The pier that backs on to the kitchen has an opening at low level, which actually suggest this could have been a chimney flue also. The escape stair is in galvanised steel, substantial in nature and generally in good condition, although the paint finishes are failing (see photograph 131).
- 3.3.18 The garden area has paved and brick finishes with pea shingle hedges etc. There is a flagstone which suggested the Friends of Hadleigh Guildhall created the garden and it opened in 1997. Some of the paving brickwork would benefit from repointing with local bricks reset etc., however, this is all relatively minor work.
- 3.3.19 To the north-west corner of the garden is the old Tudor kitchen (see photograph 132). Essentially this is a standing ruin now with the section to the west side formed of galvanised railing onto the public footpath alongside. Generally, the structure can be described as being in reasonable condition but would benefit from some consolidation. This would include repointing of open joints, making good of cills, carefully looking at the heads of the walls etc.
- 3.3.20 The north face of the kitchen is a garden storage area and would benefit from some greater work, including some localised brickwork over each building and some consolidation (see photograph 133). To the south-east corner, there is some movement between a later rebuilt pier and the earlier brickwork, and certainly, here it would benefit from some tying in through joints where possible and consolidation (see photograph 134).
- 3.3.21 Replacement of some decayed bricks to the face generally and particularly around the window, perhaps a section over the window head needing rebuilding where the brickwork is loose (see photograph 135).
- 3.3.22 Internally, as previously indicated in the Grand Hall, there is a double-height space with a coffered ceiling with downstands and set out to reflect the previous lantern centrally. The current roof is steel trussed, but has not been inspected as part of the current survey.

- 3.3.23 There are two access panels through the ceiling into the roof void but which can only be accessed from the mobile tower. The ceiling was in a very poor state and in 2005 The Morton Partnership supervised the repairs of the ceiling with Hirst Conservation carrying out the works.
- 3.3.24 Generally, the ceiling appears in good condition from floor level, although it is noted that there are a number of cracks running through some of the down stand beams. This is particularly obvious to the second coffered beam from the east end running north-south, which has cracks through the junction with the beams at 90 degrees down stand, and a similar crack towards the west end to the same down stand remains to the south side (see photograph 136).
- 3.3.25 There is a lighting rig supported off steel tubing through the down stands, which was in existence in 2005. Centrally there are a couple of supports running up to the flat ceiling panel where the previous lantern was and there is a crack on this line also (see photograph 137).
- 3.3.26 The walls are plastered and can be seen to be marked out to simulate Ashlar stonework, then with a high timber dado panel running around the periphery. This all looks in good condition but would benefit from painting. Some tap testing at low level did identify some local areas of hollow plaster, and there are a few odd movement lines that can be seen through this but nothing particularly significant.
- 3.3.27 The floor is timber boarded and relatively modern. A number of years ago we did have to restrict Aerobics classes as the action of bouncing was causing damage to the ceiling below with excessive deflection.
- 3.3.28 To the east end there are the stairs down to the dining room or ground floor, at first floor level to the south side there is a small door. The head of the window arch can be seen in this room with some shutters. There is some cracking to plasterboard finishes in this room but nothing significant.
- 3.3.29 To the main door at the east end there is a small internal draft lobby whilst the stair area has modern finishes and paint and a vinyl type floor covering continues through to the Old Town Hall. Whilst practical, it is perhaps not the most fitting finish for the historic building.
- 3.3.30 In the Grand Hall, there are various lights, pictures, speakers and metal brackets. There are some blank picture frames to the north wall and one to the west wall to break up the large space it would appear. To the south wall towards the west end to a lesser extent to the remainder, there is some flaking paintwork. There is some local evidence of condensation to external walls (see photograph 138)
- 3.3.31 The first floor of the extension to the west end, being relatively recent all appears in good condition. There is some minor horizontal cracking to the wall in the disabled WC, but not of any structural concern. The door to the Men's WC binds, and the tiled finish.
- 3.3.32 The lift is an 8 person maximum load of 630 kg by Oakland. The ground floor of the extension can be seen to be in a similar condition as above with no particular signs of defects. The timber joinery to the stair is quite marked now and would benefit from stripping and redecoration (see photograph 139).
- 3.3.33 Off the western main door to the south elevation is a small draft lobby leading to a brick finished cloakroom areas, all appearing in a reasonable condition. This provides access to the west staircase and lift, and to the right to the dining room.

- 3.3.34 The dining room has four cast-iron columns supporting beam down stands supporting the floor structure above. The ceiling looks generally in a reasonable condition. It is noted that all the windows are slightly different sizes in terms of width, with that at the west end retaining vertical sliding shutters inside. The sashes are generally painted in, so cannot be opened at this time. There is generally a solid floor but a central timber dancefloor. The room is generally in good decorative condition.
- 3.3.35 To the north side is a series of service rooms, including a store at the east end which has external access to the pavement, and where there are some signs of moisture ingress to the west wall and part of the north wall at low level, where we are below ground level externally (see photograph 140). The kitchen is generally in reasonable condition, but obviously has wipeable surfaces, so much of the structure is concealed. There is some minor cracking to the wall dividing this between the dining room.
- 3.3.36 To the west end is the cellar/bar area with storage for drinks in the bar itself, all appearing in reasonable condition, although in need of decoration. To the east end, there is York stone paving from the eastern doors and then the modern rising steps. The Ashlar marked out in the plaster is easier to observe in this location.
- 3.3.37 There is a further store below the stairs with an external window with obscure glass which also has some low level damp, but not particularly significant. In the stair lobby in the east end, there are two large grilles in the ceiling, presumably to provide some form of ventilation (see photograph 141).
- 3.3.38 We repeat below excerpts from Caroe Architecture Survey Notes:

J Roofs, chimneys and rainwater goods

- J.1 The visible parts of the hipped slate roof over the New Town Hall looked to be in reasonable condition although approx 5 of the ridge tiles and a small number of hip tiles have deteriorated and look to need replacing. Note: Only the north and east slopes were observed during the inspection.
- J.2 The roof is served by a moulded eaves gutter with extremely long gutter runs across all elevations - there are no downpipes on the south side at all. A number of the gutter joints look to be leaking and the decoration to the eaves joinery - fascia boards, soffits (and modillions to the main facades) has deteriorated. Overhaul of the rainwater goods and redecoration (probably accompanied by local repair) of the joinery will be required. The capacity of the rainwater system should be checked and improved as necessary alongside any high level works.
- J.3 There is a lead valley between the slate and tiled roofs where the Old Town Hall meets the New Town Hall; on the east side the leadwork discharges onto the roof below the eaves gutter leaving algae staining across the tiles. Improvements should be considered.

K Walls, windows etc.

- K.1 On the north side, there are the extant remains of previous ivy growth (now dead) behind the swan neck of the downpipe at the east end, with local damage to the adjacent bricks. There is a strip of weathered pointing in the courses directly below the eaves which should be addressed as and when access is available. An area of damp brickwork could also be seen around the overflow pipe at the west end. The ball cock should be checked and replaced as necessary.

L Internal - First Floor

L.1 Room T3

- L.1.1 There were a number of drip marks which could be seen running down the walls and are likely associated with condensation on the impervious painted layers.

- L.1.2 Another coiled wire was noted in the vestibule in the north east corner. This should be removed or terminated appropriately.

4.0 Conclusions and Recommendations

- 4.1 The Hadleigh Guildhall complex of buildings is of high historic interest, character, and significance, as highlighted by the building's Grade I and II listed status.
- 4.2 Overall, the condition of the buildings appears reasonable and is certainly performing acceptably from a structural perspective. All three main buildings appear to have been maintained reasonably well.
- 4.3 The roof coverings are not in an unreasonable condition, but there are areas of slipped, missing or broken tiles in areas, as well as moss vegetation build-up. Whilst they could be kept going with regular maintenance, we would recommend re-roofing the areas over the Market Hall and Old Town Hall in a not too distant future, particularly if a capital grant bid is being made. Some of the existing tiles could be salvaged and re-used.
- 4.4 The soleplates to the original timber-framed ranges are the most vulnerable elements of a timber frame and are partially concealed being embedded in the wall frame. We cannot guarantee that these are not partially decayed, but there are no signs in the wall panels over to suggest any recent movement, which would indicate this situation. We noted, in particular, the vulnerability of the soleplates to the north elevation of the Market Hall middle range.
- 4.5 Although signs of wood-boring insect attack were obvious throughout, this was noted to be predominantly to the sapwood of the timber members, with the heartwood remaining sound. We have not seen any current signs of activity although it is likely and inevitable that some do exist.
- 4.6 The external render, where this exists, is in satisfactory condition at present and adequately protecting the walls from external elements. The only area identified where local repairs to the render are required is at the east gable of the Market Hall middle range, close to the chimney position. Removing the loose render and replacing it with a new lime-based mortar mix would be prudent.
- 4.7 It should be accepted that historic buildings, such as Hadleigh Guildhall, have undergone considerable alterations, repairs and extensions during the course of its life. Some of these may have not been conceived whilst considering the structural implications to the building, but inevitably the building finds a new equilibrium. In this particular case none of the changes appears to have significantly adversely affected the structural performance of the building.
- 4.8 With buildings built adjacent to existing ones in different phases of construction, differential movement can occur, due to their different foundations. In this case, between the Market Hall middle range and the west extension, between the Market Hall and the Guildhall, and between the Guildhall and the New Town Hall. No particular signs of such movement were noted. Seasonal and thermal movements are likely, but are rarely of structural significance and can be easily made good by redecorating.
- 4.9 Historic buildings generally have more tolerance to movement as they were constructed using traditional materials that can accommodate movement more easily than modern materials. Cosmetic damage should be made good as part of decoration cycles to prevent excessive moisture ingress into the fabric.
- 4.10 It should be noted that lathe and plaster ceilings can fail, although this is comparatively rare. This can be caused by the failure of the plaster keys between the laths, nail sickness or corrosion, and decay of lathes, all aggravated by build up of rubbish on the ceiling, movement and water penetration. Where possible the backings should be checked when floorboards are lifted as this will give a better indication of the problem, if any. Repairs are possible using screws and large washers.

- 4.11 It is likely that additional repair works will be found to be necessary during the course of any building works as and when more parts of the building become exposed, but providing you have an appropriate and experienced contractor and advice, it should be possible to deal with these sensibly and cost-effectively, and sometimes over a prolonged period if that is required. It is important when budgeting for works to include a good contingency to accommodate any additional works identified.
- 4.12 There are other minor works suggested in the report which should be noted. These include the following, although the list is not exhaustive and the full report should be reviewed:
- Moss removal to roofs, chimneys etc;
 - Ensure the valley gutters, back gutters etc are regularly cleared of moss, leaves and build up and checked for the condition at that time;
 - Roof maintenance to replace slipped or badly damaged tiles, particularly after storms and high winds;
 - Visually monitor all vulnerable areas for damp ingress;
 - New Town Hall's West chimney to be assessed for stability when high-level access is available
 - Carefully and thoroughly brush back rust spots to cast iron and metal gutters, downpipes etc, prime and paint;
 - Visually monitor the condition of the lath and plaster ceilings and wall panels etc;
 - Maintain decoration to the external render to prevent any water ingress;
 - Maintain decoration on all the external joinery and when undertaken, expect some local repairs may be necessary;
 - Local replacement of decayed bricks or re-bedding loose bricks, and local repointing of the chimney stacks;

5.0 Schedule of Repairs (indicative only)

- 5.1 Short-term repairs (0-6 months): this type of repair can be carried out using an aerial work platform (cherry picker) to locally repair the external envelope. To be noted that this is only a temporary solution of repair which can be implemented until scaffolding up and full repair of elevations will be possible.
- Allow for checking all gutters and clear any debris and moss vegetation that is found blocking them (including secret gutters);
 - Allow for replacing any cracked or slipped roof tiles (approx. 5% of the total roof tiles);
 - Allow for removing approx. 1.5m² of loose render to the east gable of the 3-storey range of the Market Hall. Allow for replacing the loose render with a new lime-based mix render.
 - Allow for investigating the dripping overflow pipe noted to the north elevation of the New Town Hall;
- 5.2 Medium to long term (1-2 years up to 5-6 years): this more complex type of repair will require complete scaffolding.
- Allow for undertaking a full measure survey of the whole complex of buildings;
 - Allow for re-roofing the Market Hall and the Old Town Hall;
 - Allow for cleaning and re-painting the fire escape ladder to the rear of the New Town Hall;
 - Allow for locally replace any loose or damaged bricks of the chimneys (approx. 3% of the total bricks);
 - Allow for re-flaunching all chimneys using a lime-based mix mortar;
 - Allow for brushing, cleaning and re-painting all rainwater goods;
 - Allow for stripping the existing flaking paint off the timber cornices and re-paint;
 - Allow for fitting in chimney caps for all chimneys that are not in use. Allow for air bricks to maintain ventilation;
 - Allow for brushing and cleaning all lead flashings (including flashings over soleplates etc);
 - Allow for investigating the source of dampness noted to the north elevation of the Market Hall's 3-storey range.

- Allow for repointing the external brick plinth of the Market Hall's 3-storey range using hot lime, and allow for removing and replacing the internal apparent cement-based plaster below the soleplate level with a lime-based one plaster.
- Allow for monitoring the lateral displacement noted to the Market Halls' buttress (South elevation) over a minimum period of one year;
- Allow for gently cleaning the external Bath stonework to the New Town Hall;
- Allow for removing all iron fixings embedded in the brickwork, and if necessary, replacing them with stainless steel;
- Allow for thoroughly brushing and re-painting the rusty steel lintels noted to the New Town Hall;
- Allow for stitch-cracking the joint crack noted to the south-east corner of the Old Tudor Kitchen. Allow for re-pointing open joints (approx. 30%), and replacing decayed bricks (approx. 20%).
- For joinery repairs, decorations, etc, refer to the Condition Survey Notes by Caroe Architecture.

6.0 Limitations

- 6.1 It should be stated that we have not inspected woodwork or other parts of the structure unless specifically detailed in the report, which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the property is free from defect.
- 6.2 This report has been carried out to the Client's requirements and no liability is intended or will be accepted from any third party whatsoever.
- 6.3 The limits of liability are restricted to the contents of this report. No opening up or investigation of foundations etc was carried out, the inspection being visual only.
- 6.4 No checks on load-bearing capabilities have been carried out.

APPENDIX A

Photographs by The Morton Partnership



Photograph 01 – Market Hall’s west section



Photograph 02 – Market Hall and Old Town Hall roofs, as seen from the cherry picker



Photograph 03 – Lead flashings to the Market Hall's roof



Photograph 04 – Moss and debris build-up noted to the valley gutters



Photograph 05 – Undulations noted to the ridgeline of the roof over the south range of the Market Hall



Photograph 06 – Far west roof over porch, as seen from the cherry picker



Photograph 07 – North and South chimneys to the Market Hall’s west range



Photograph 08 – Delaminated flaunching to the South chimney



Photograph 09 – Debris build-up and moss vegetation to the back of the chimneys



Photograph 10 – Metal gutters in need of brushing and cleaning



Photograph 11 – Paint flaking off at cornice level



Photograph 12 – North elevation of the Market Hall's west section



Photograph 13 – West elevation of Market Hall's west wing



Photograph 14 – Cast iron downpipe in need of brushing and cleaning



Photograph 15 – White stains at high-level – West elevation of Market Hall's west range



Photograph 16 – Missing section of downpipe to the west elevation of the Caretaker's range



Photograph 17 – South elevation of Caretaker's range



Photograph 18 – Fractured ridge tile to the Market Hall's middle range



Photograph 19 – Chimney stack to the Market Hall’s middle range



Photograph 20 – Chimney stack to the Market Hall’s middle range as seen from above



Photograph 21 – Eroded mortar joints to the middle range's chimney



Photograph 22 – Minor separation crack to the middle range's chimney



Photograph 23 – Roof arrangement over the Market Hall's middle range



Photograph 24 – Market Hall's north elevation



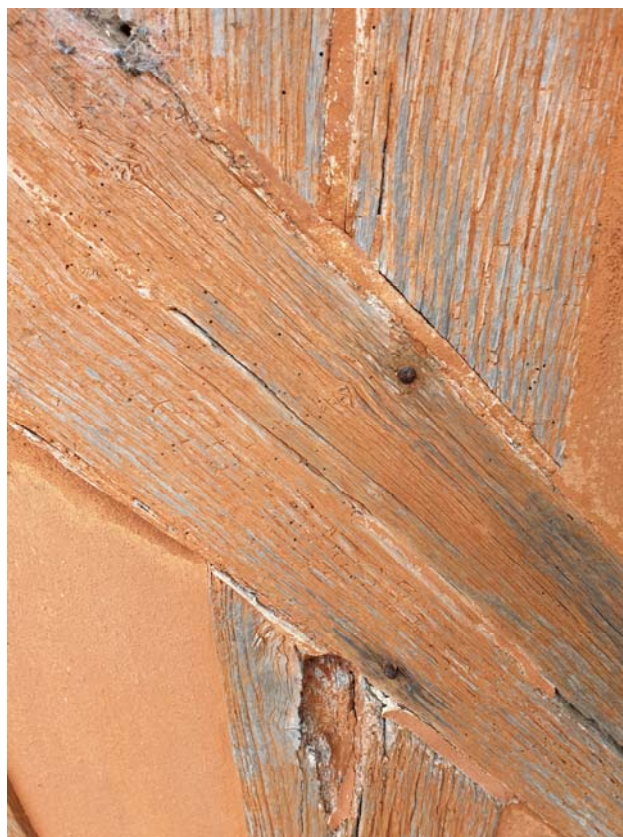
Photograph 25 – Minor cracking in the render to the west gable of the middle range



Photograph 26 – Cracking and live render to the east gable of the middle range



Photograph 27 – Air bricks noted to the eaves level of the middle range



Photograph 28 – Wood-boring insect attack noted to the north elevation of the middle range



Photograph 29 – Decay noted to the exposed timber of the middle range



Photograph 30 – Lead flashings noted to the soleplates of the middle range



Photograph 31 – Plastic repairs to decayed soleplate of the middle range



Photograph 32 – Rot noted to the 1st-floor central window of the middle range



Photograph 33 – Local decay noted to the 1st floor west window of the middle range



Photograph 34 – Decay noted to the sill of the 1st floor west window (middle range)



Photograph 35 – Jetty brackets generally found in good condition



Photograph 36 – Decay noted to the north-west corner post of the middle range



Photograph 37 – Scarf repair noted to the GF west window of the middle range



Photograph 38 – Existing ditch along the perimeter of the North elevation (middle range)



Photograph 39 – Dampness noted to the east end of the soleplate (middle range)



Photograph 40 – Part of the south elevation of the middle range, as seen from the courtyard



Photograph 41 – Roof over Market Hall's east wing, as seen from the cherry picker



Photograph 42 – Weathered roof coverings (east wing of the Market Hall)



Photograph 43 – Moss vegetation to the west end of the Market Hall’s east range roof



Photograph 44 – Market Hall’s east wing



Photograph 45 – Brickwork buttress to the south elevation of the east wing (Market Hall)



Photograph 46 – Movement noted to the buttress to the south elevation of the east wing



Photograph 47 – Out of plumb brickwork buttress to the south elevation of the east wing



Photograph 48 – Out of plumb brickwork buttress to the south elevation of the east wing



Photograph 49 – Diagonal cracking noted to the 1st-floor windows (south elevation of Market Hall's east wing)



Photograph 50 – Crown-post (red) on timber tie-beam (blue) supporting the roof over Market Hall's middle range



Photograph 51 – Cut back collar tie to the west face of the chimney breast in room ‘C1’



Photograph 52 – Evidence of historic cross lap joint on the posts in ‘C1’ room



Photograph 53 – Filled mortices indicating an original partition, now removed ('C1')



Photograph 54 – Live plaster noted in room 'C2'



Photograph 55 – Storage area at the 2nd floor of Market Hall's middle range



Photograph 56 – Rooms 'C5 & C6' used as a storage area



Photograph 57 – Historic timber plank door providing access to ‘C7’



Photograph 58 – Historic newspaper marks on the timber plank door to ‘C7’



Photograph 59 – Cut back historic timber frame within room 'C7'



Photograph 60 – Room 'R5' looking east



Photograph 61 – Modern spiral stairs linking rooms 'R5' and 'C1'



Photograph 62 – Historic wood boring insect attack marks to the beam above 'R3'



Photograph 63 – Room 'R1' (Assembly Room) looking east



Photograph 64 - Room 'R1' (Assembly Room) looking west



Photograph 65 – Live plaster to the walls noted in 'R1'



Photograph 66 - Live plaster to the walls noted in 'R1'



Photograph 67 – Paint flaking off at ceiling level noted in 'R1' (east end)



Photograph 68 – Recently re-decorated hallway ('C16')



Photograph 69 - Recently re-decorated hallway ('L11')



Photograph 70 – Room 'R6' looking east



Photograph 71 – Improved bearing of the beam over 'R6' at the east end



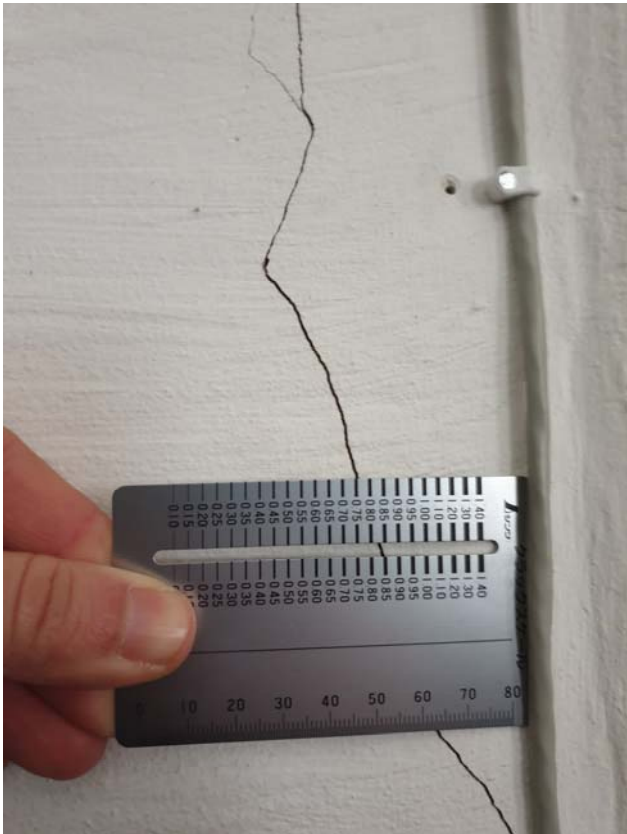
Photograph 72 – Filled mortises to the soffit of the beam over 'R6'



Photograph 73 – Cracks in the ceiling over 'R6' (east end)



Photograph 74 – Fine crack to the junction of two faces of the brick apse within 'R6' (north side)



Photograph 75 - Fine crack to the junction of two faces of the brick apse within 'R6' (north side)



Photograph 76 – Original timber-frame post in 'R7'



Photograph 77 – Horizontal hair-line crack noted in 'R7', above the door leading to 'R8'



Photograph 78 – Room 'R8' looking south



Photograph 78 - Original timber-frame post in 'R8'



Photograph 80 – Live plaster and cracking noted above the door leading to 'R10'



Photograph 81 – Room 'R11' and beam over



Photograph 82 – Dampness noted to the soleplate within room 'R11'



Photograph 83 – Poor decoration noted in the hallway leading to St. Mary’s Church



Photograph 84 – Undulations noted to the ridge beam over the Old Town Hall



Photograph 85 – Moss vegetation (blue) and broken tiles (red) noted to the roof over the Old Town Hall



Photograph 86 – Moss build-up partially blocking the valley gutter at the junction between the Old Town Hall and New Town Hall



Photograph 87 – North chimney of the Old Town Hall



Photograph 88 – Damaged / missing flaunching to the north chimney of the Old Town Hall



Photograph 89 - South chimney of the Old Town Hall



Photograph 90 – East elevation of the Old Town Hall bulging out at 1st floor level



Photograph 91 – West elevation of the Old Town Hall



Photograph 92 – Delaminated bricks and eroded mortar joints noted to the north end of Old Town Hall's west elevation



Photograph 93 – West elevation of the Old Town Hall's north chimney



Photograph 94 – Moss vegetation (blue) and eroded mortar joints (red) noted to the Old Town Hall's North chimney (south elevation)



Photograph 95 – Historic mortices indicating a different structural arrangement



Photograph 96 – Repair to the soleplate of the Old Town Hall's 1st-floor wall (west elevation)



Photograph 97 – Few spalling bricks and moss vegetation noted to the base of the south chimney (Old Town Hall)



Photograph 98 - Few spalling bricks and moss vegetation noted to the base of the south chimney (Old Town Hall)



Photograph 99 – Sole plate repair and different nuance in the render to the south end of Old Town Hall’s west elevation



Photograph 100 – Main access into the Guildhall (east elevation)



Photograph 101 - Main access into the Guildhall, as seen from inside



Photograph 102 – Staircase from the main access into the Guildhall leading to 1st-floor level



Photograph 103 – Hallway built within 'L1' leading to 'R10' kitchenette



Photograph 104 – Historic damp stains noted in 'R10'



Photograph 105 – Room 'L4' looking south



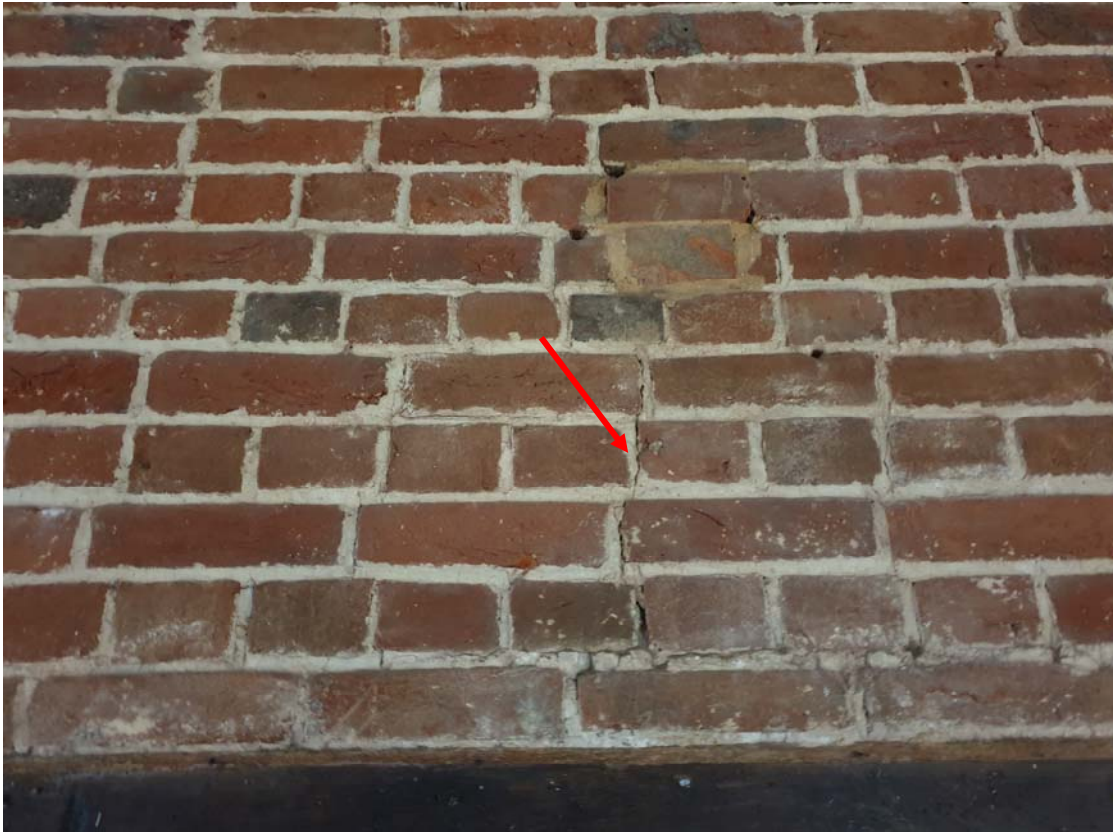
Photograph 106 - Room 'L4' looking north



Photograph 107 – Carved jetty beams revealing the original position of the east elevation, as seen from 'L4'



Photograph 108 – Historic dampness noted adjacent to the north fireplace in 'L4'



Photograph 109 – Minor cracking noted above the lintel of the south fireplace, in 'L4'



Photograph 110 – Historic trimmer beam arrangement indicating original staircase leading to the room above 'L4'



Photograph 111 – Room 'L7' looking west



Photograph 112 – Room 'L7' looking south-east



Photograph 113 – Electrical room adjacent to 'L7'



Photograph 114 – North wall of room 'L1'



Photograph 115 – Timber sill replacement noted to most of the windows in 'L1'



Photograph 116 – East wall bulging out, as seen from 'L1'



Photograph 117 – Existing kitchen to the south end of room 'L1'



Photograph 118 – Existing Hallway linking the Old Town Hall to the New Town Hall



Photograph 119 – Detritus and pollution stains to the stone quoins of New Town Hall



Photograph 120 – Different colour pointing noted to the front elevation



Photograph 121 – Cracking noted in line with the lintel to the centre window to the front elevation of the New Town Hall



Photograph 122 – York stone paving extending out to the kerb line



Photograph 123 – Iron bracket noted to the east elevation of the New Town Hall



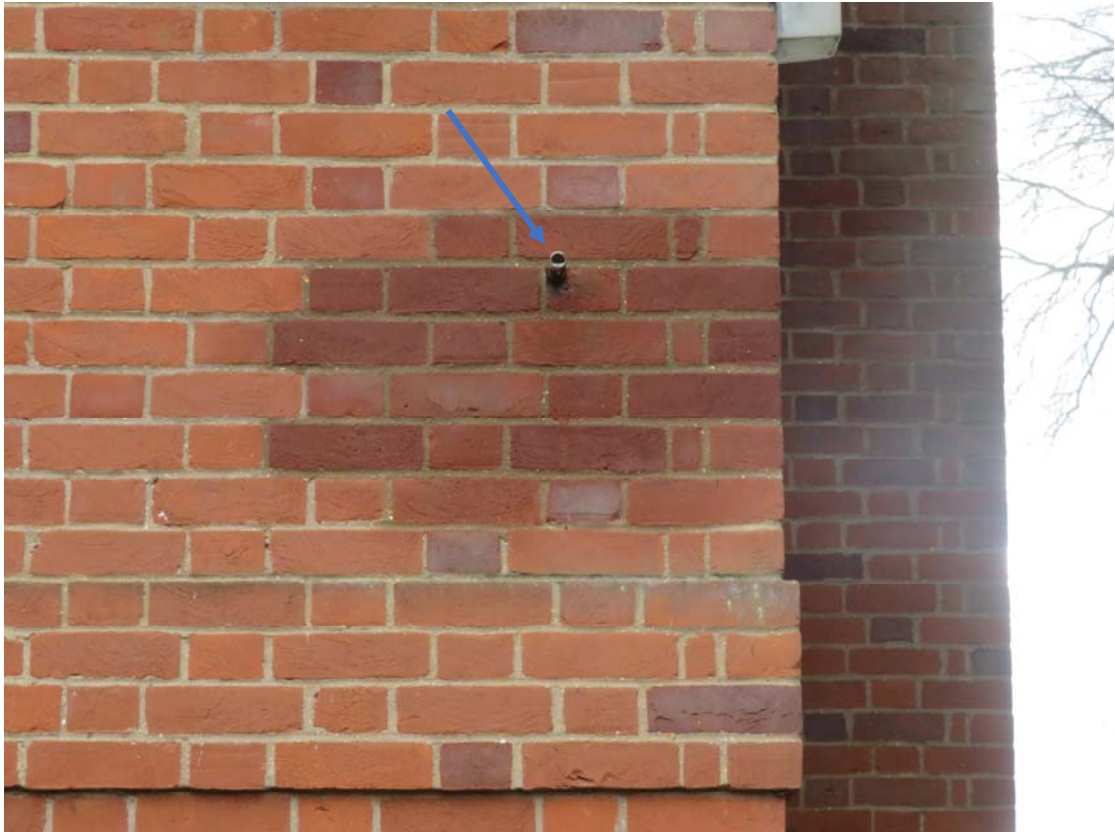
Photograph 124 – Corrosion to the base of the lintel, to the east elevation of the New Town Hall



Photograph 125 – Central chimney that appears to be leaning slightly eastward



Photograph 126 – Corroding gutters noted to the west elevation of the New Town Hall



Photograph 127 – Dripping overflow pipe and saturated brickwork noted to the north elevation of the New Town Hall



Photograph 128 – North elevation of the New Town Hall



Photograph 129 – Cement-based mortar noted to the east chimney of the New Town Hall, as seen from the back courtyard



Photograph 130 – Evidence of historic door opening to the north elevation of the New Town Hall



Photograph 131 – Galvanised steel escape stair showing signs of failing finishes



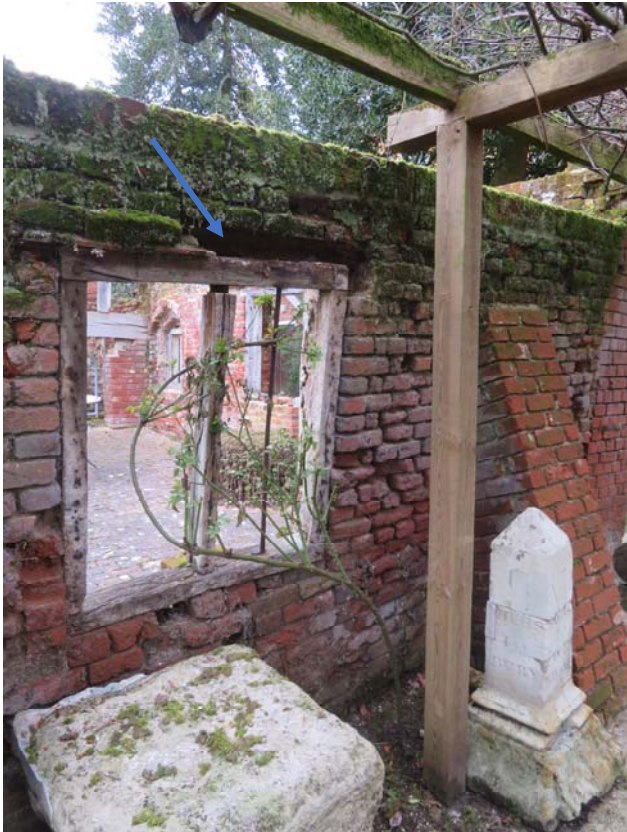
Photograph 132 – The old Tudor kitchen, as seen from the back courtyard



Photograph 133 – North face of the old Tudor kitchen



Photograph 134 – Movement noted to the south-east corner of the old Tudor kitchen



Photograph 135 – Areas requiring local rebuilding to the old Tudor kitchen



Photograph 136 – Cracks noted to the coffered beams noted in the Grand Hall



Photograph 137 – Crack to the flat ceiling, in line with the lighting rig, noted in the Grand Hall



Photograph 138 – Condensation noted to the external wall within the New Town Hall



Photograph 139 – Timber joinery in need of redecoration noted to the stairs within New Town Hall



Photograph 140 – Signs of water ingress noted in the service rooms (New Town Hall)



Photograph 141 – Existing grills in the ceiling noted to the stair lobby within the New Town Hall

APPENDIX B

Photographs by Caroe Architecture



IMG 01



IMG 02



IMG 03



IMG 04



IMG 05



IMG 06



IMG 07



IMG 08



IMG 09



IMG 10



IMG 11



IMG 12



IMG 13



IMG 14



IMG 15



IMG 16



IMG 17



IMG 18



IMG 19



IMG 20

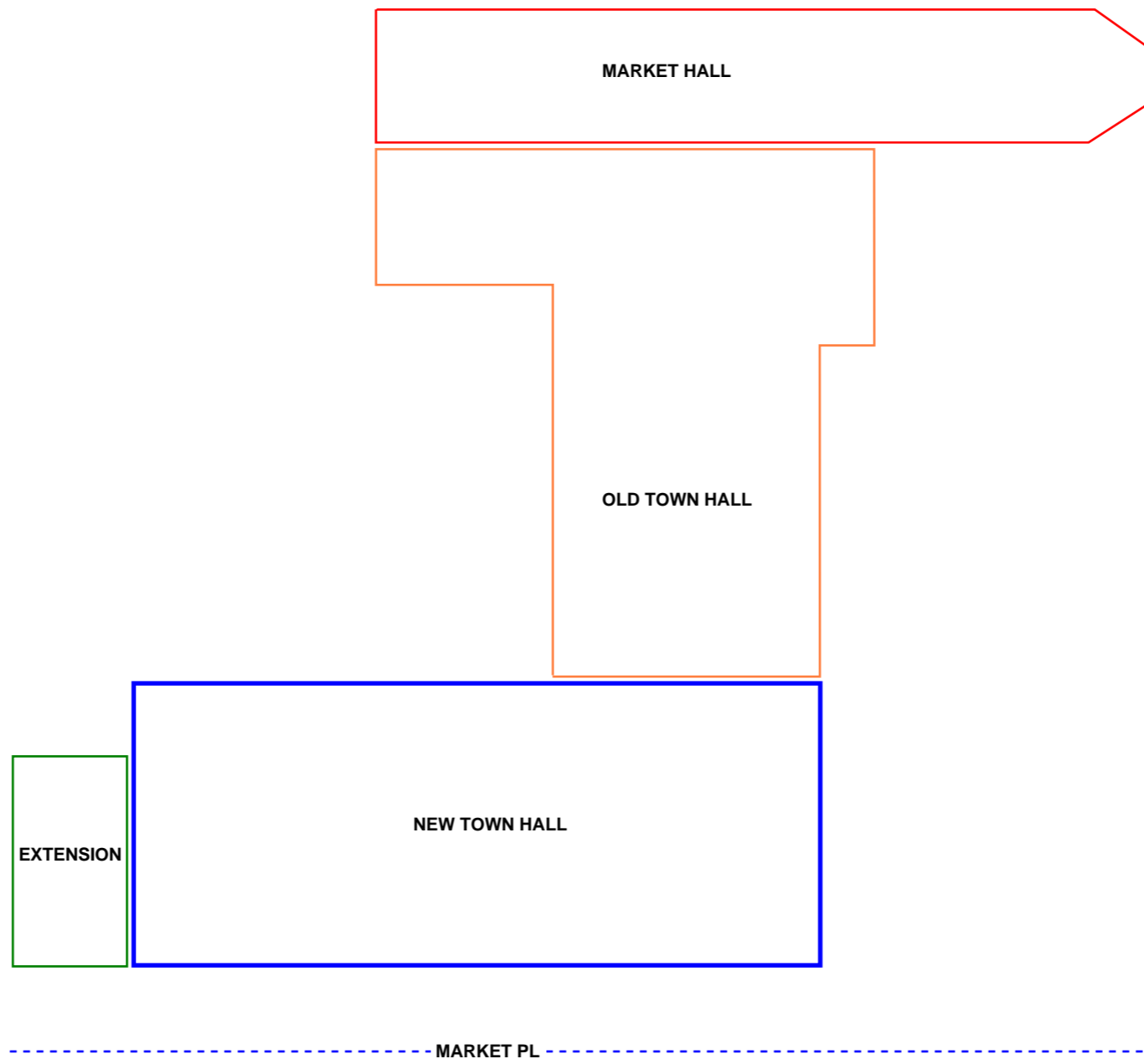


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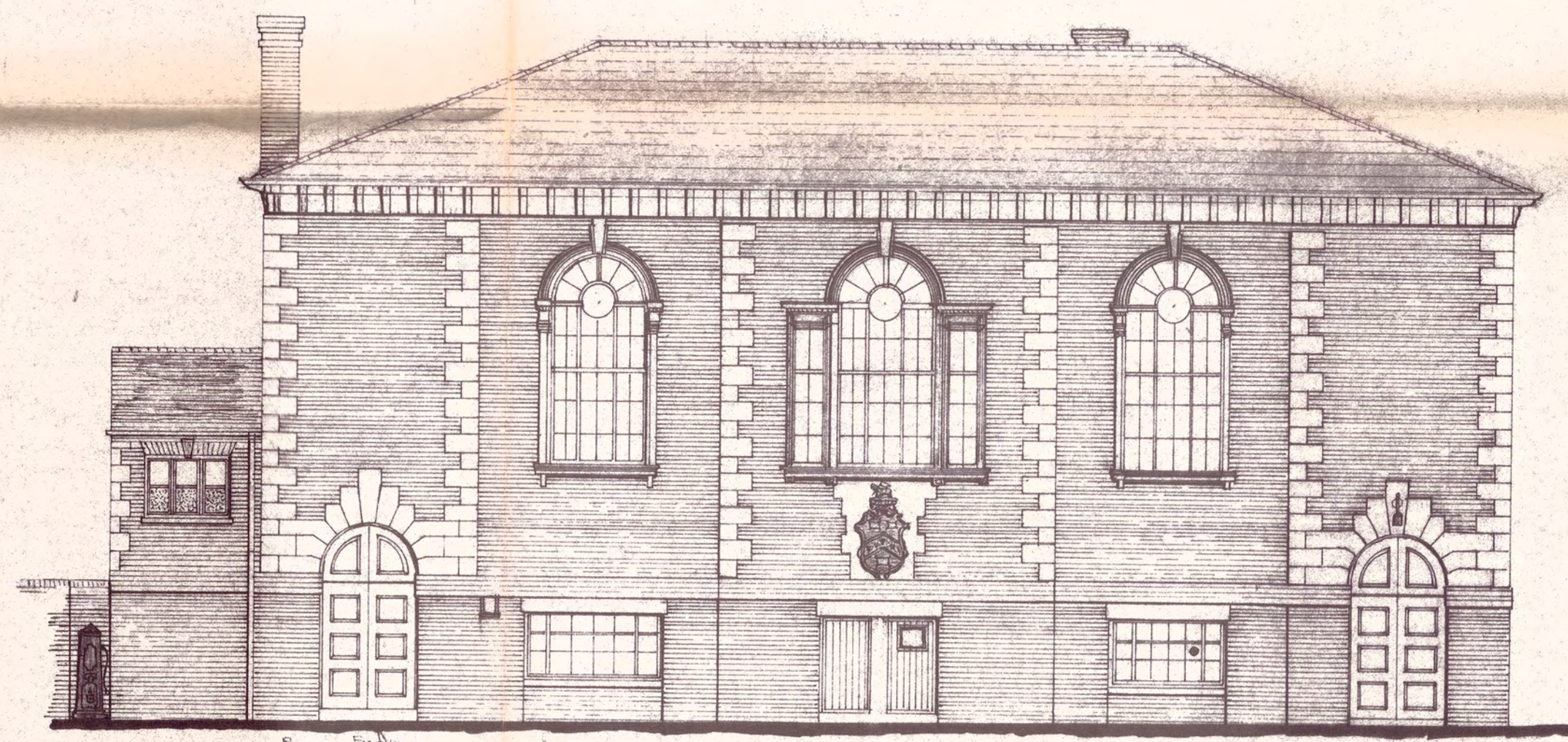
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APPENDIX C
Markup Drawing

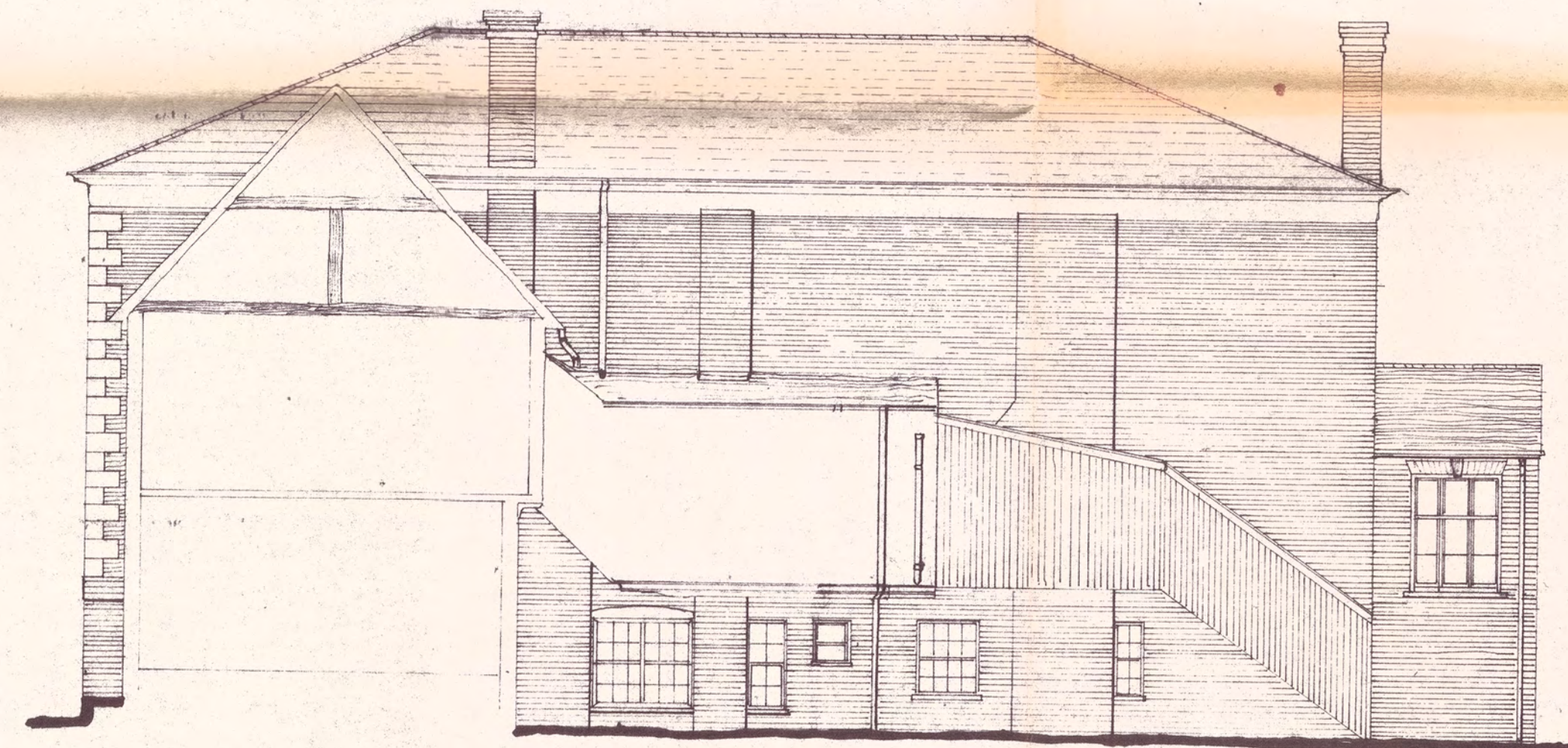


APPENDIX D
Archive Drawings

SOUTH ELEVATION



NORTH ELEVATION



Architects and Design Consultants
Architects to the Diocese of Rochester
9 West Stockwell Street, Colchester CO1 1HN
Telephone Colchester (0206) 49487

**Purcell Miller Tritton
and Partners**

Client Hadleigh Market Feoffment Charity

Job Hadleigh Guildhall

Title Elevations Existing

Drawn p j f Date 5/8/80

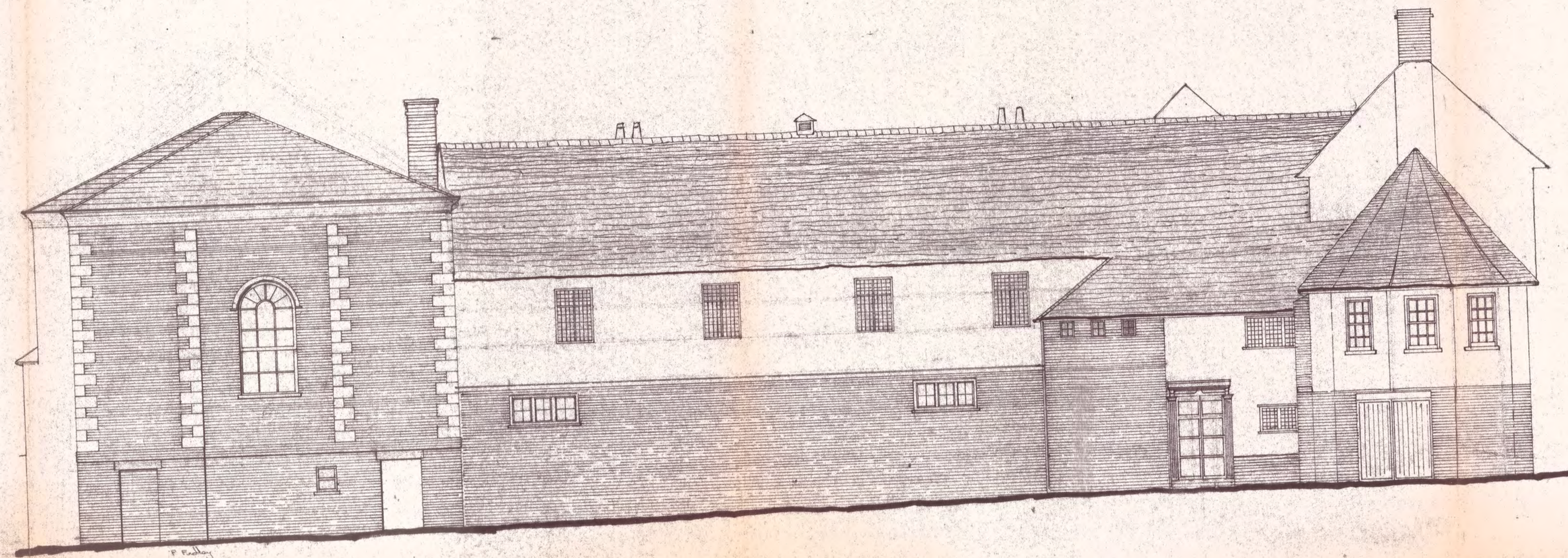
Scale $\frac{1}{8}'' = 1' - 0''$

24/10/08

7233

08

East Elevation



West Elevation

Architects and Design Consultants
Architects to the Diocese of Rochester
9 West Stockwell Street, Colchester CO1 1HN
Telephone Colchester (0206) 49487

**Purcell Miller Tritton
and Partners**

Client Hadleigh Market Feoffment Charity

Job Hadleigh Guildhall

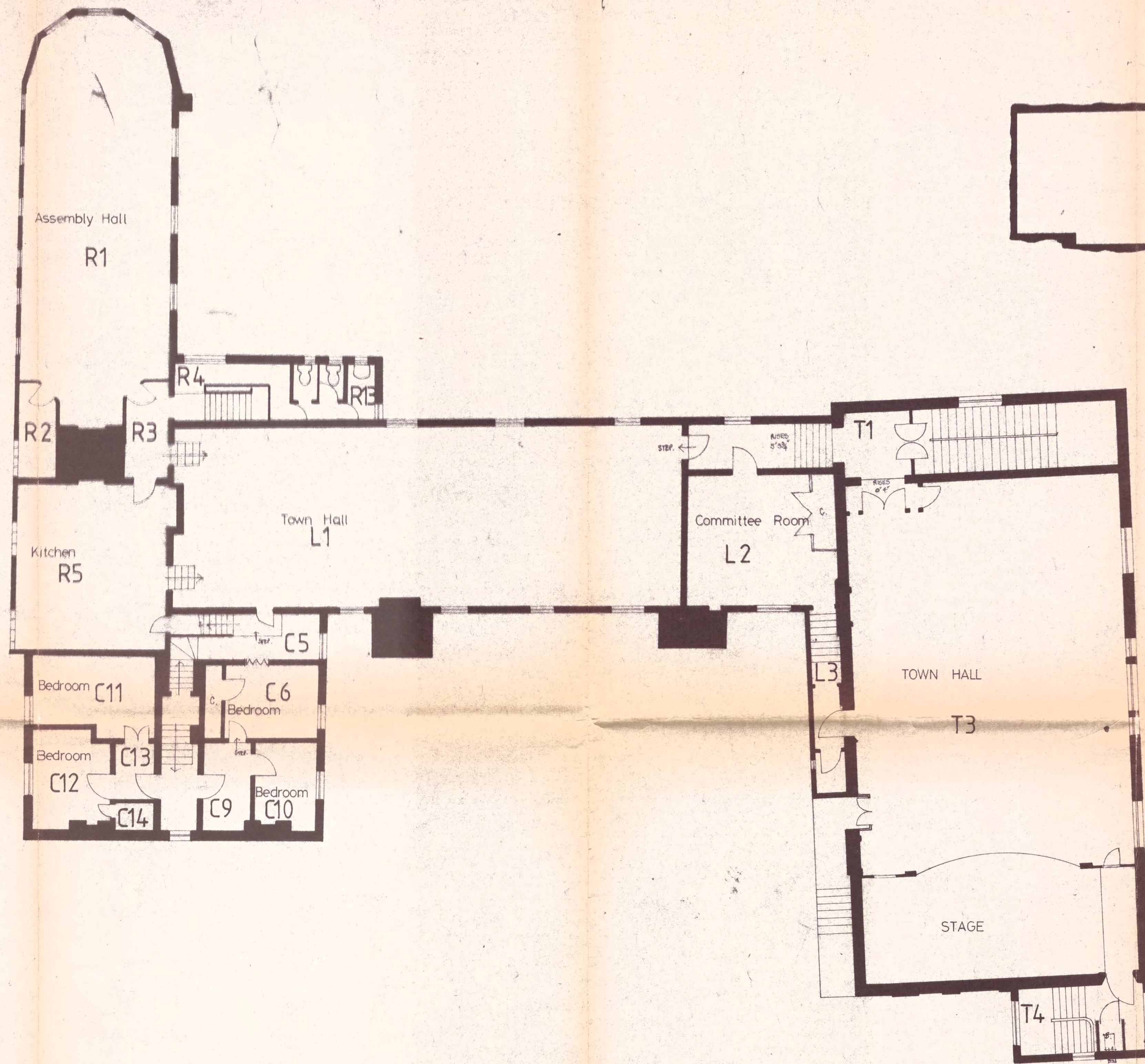
Title Elevations as Existing

Drawn p.jf Date 31/7/80

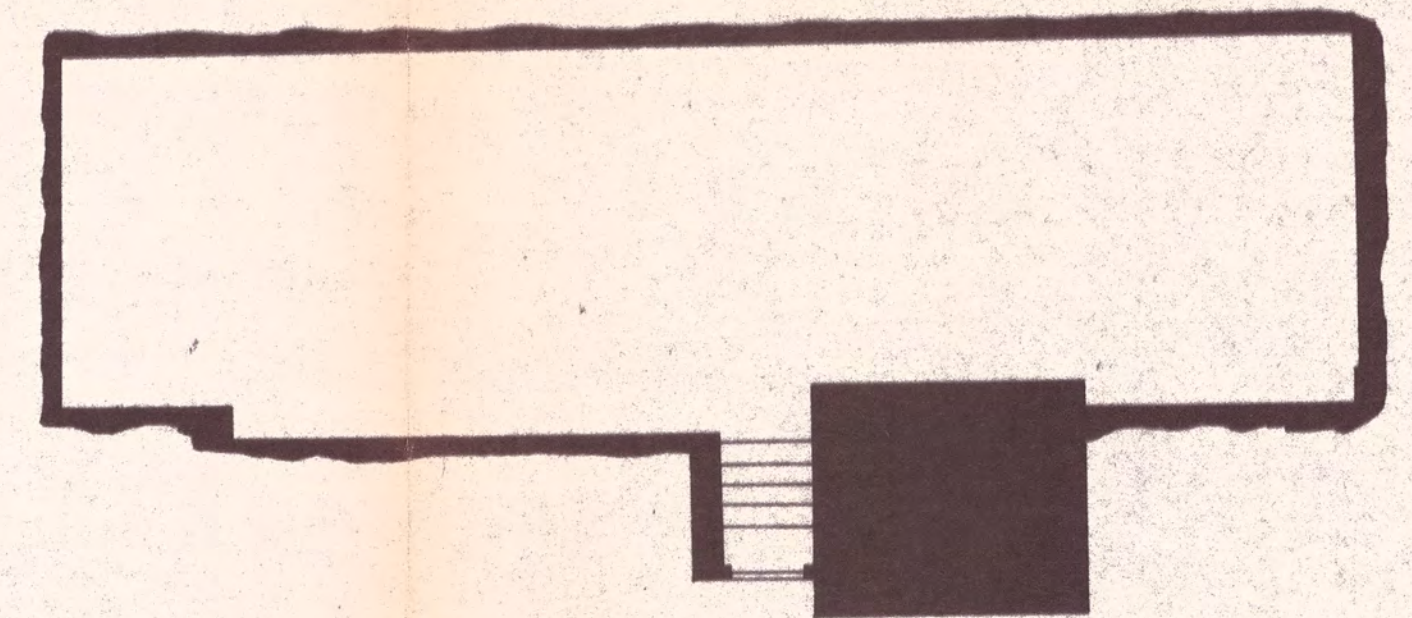
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23/8/10

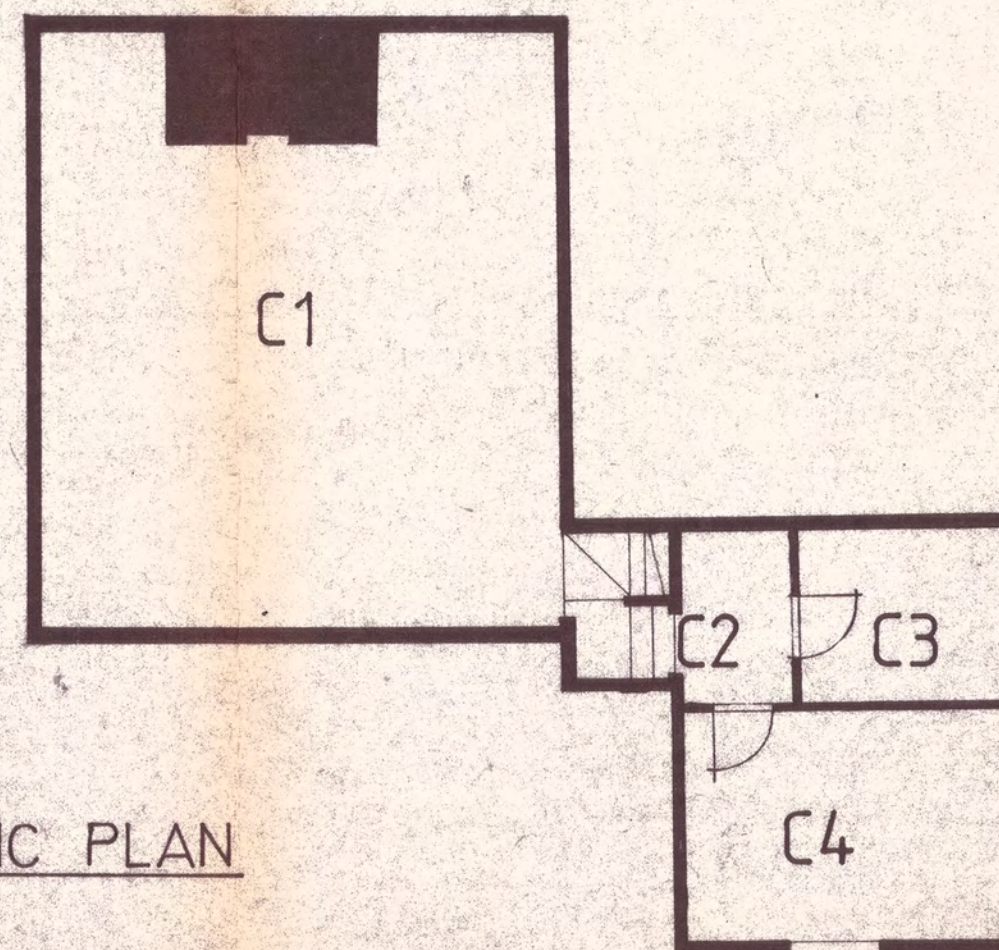
7233 07



First Floor



CELLAR PLAN



ATTIC PLAN

B - CELLAR PLAN ADDED
A - EXISTING DRAWING UPDATED

2/4/88
19/6/84

Architects and Design Consultants
Architects to the Diocese of Rochester
9 West Stockwell Street, Colchester CO1 1HN
Telephone Colchester (0206) 49487

**Purcell Miller Tritton
and Partners**

Client Hadleigh Market Feoffment Charity

Job Hadleigh Guildhall

Title Floor plans Existing

Drawn p j f Date 28/7/80

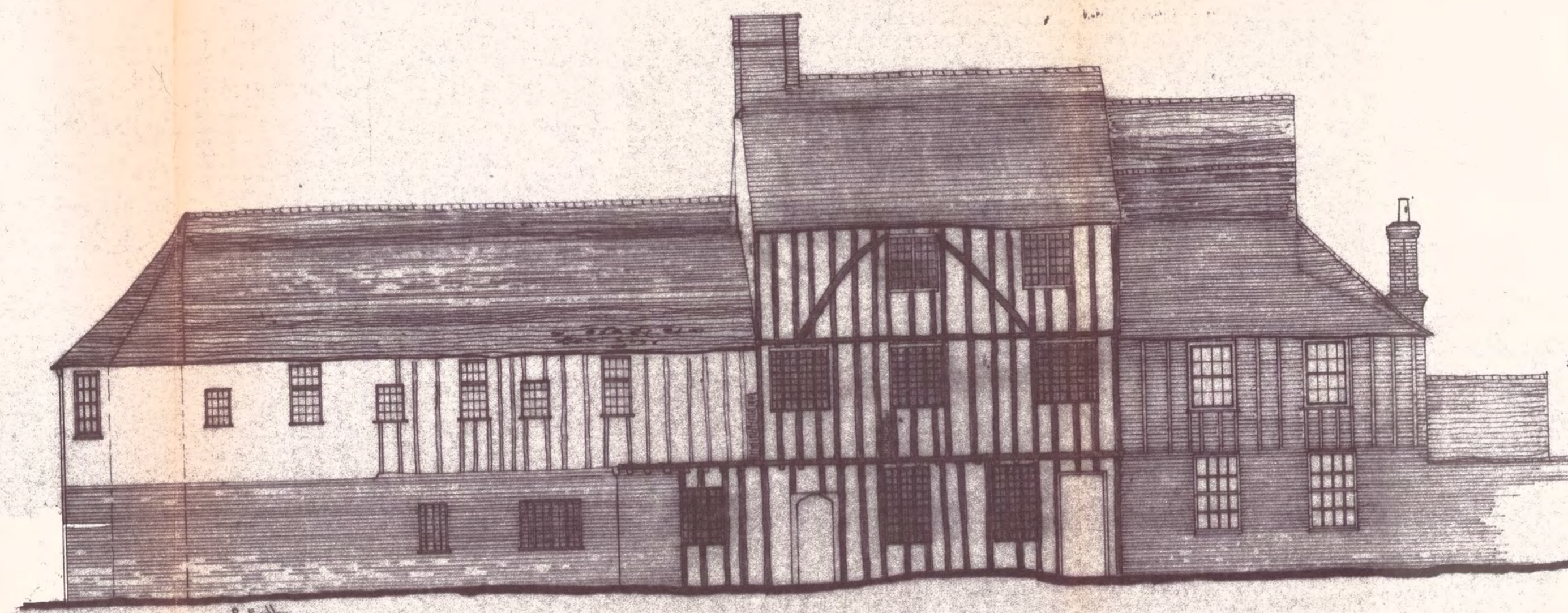
Scale 1/8" = 1ft

241/A/004
23/1/01

7233

04(B)

South Elevation



North Elevation

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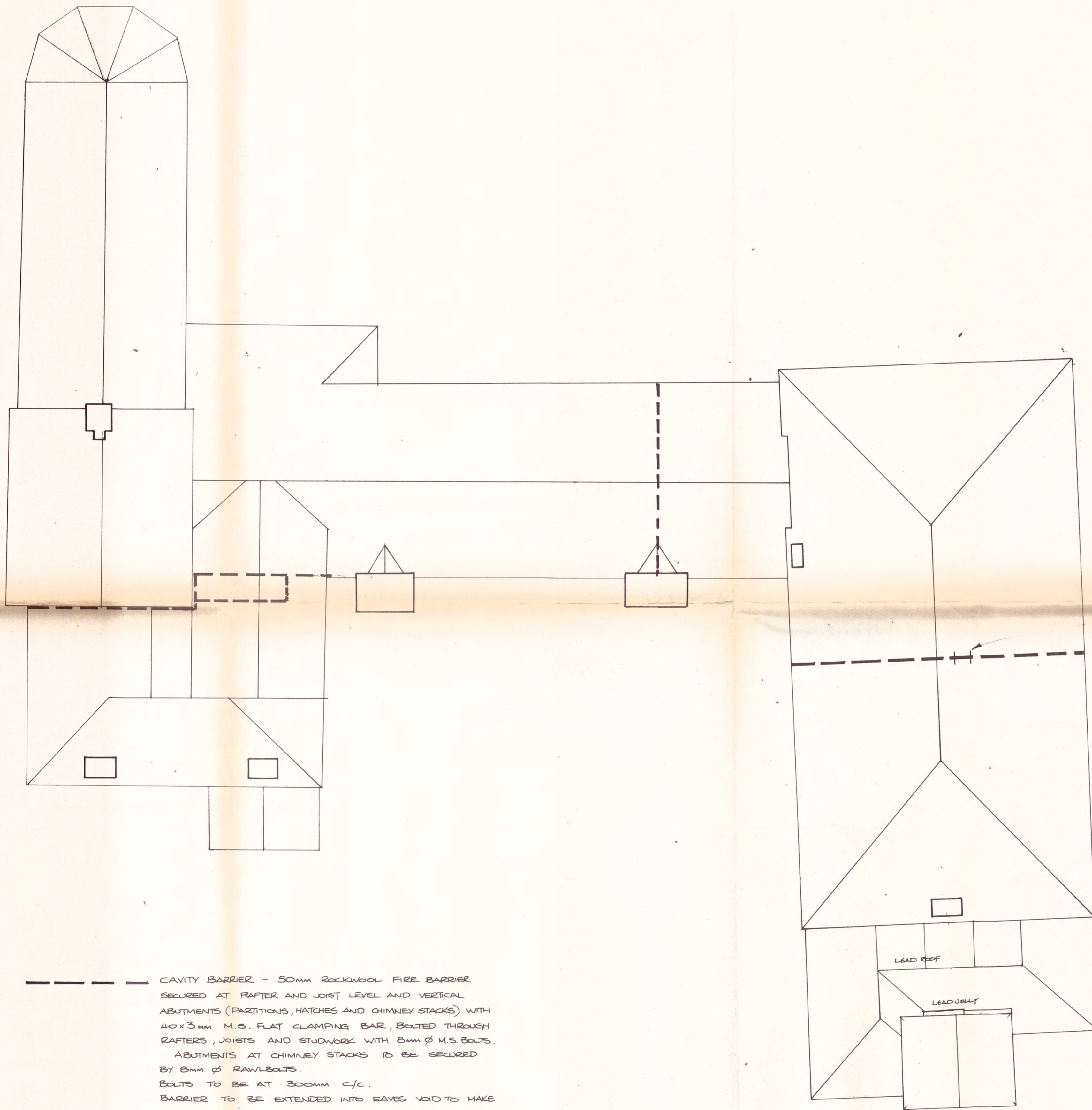
Job Hadleigh Guildhall

Title Elevations Existing

Drawn p j f Date 4/8/80

Scale 1/4" = 1ft 244/A/10

2209/10



--- CAVITY BARRIER - 50mm ROCKWOOL FIRE BARRIER
 SECURED AT RAFTER AND JOIST LEVEL AND VERTICAL
 ABUTMENTS (PARTITIONS, HATCHES AND CHIMNEY STACKS) WITH
 40x3mm M.S. FLAT CLAMPING BAR, BOLTED THROUGH
 RAFTERS, JOISTS AND STUDWORK WITH 8mm Ø M.S. BOLTS.
 ABUTMENTS AT CHIMNEY STACKS TO BE SECURED
 BY 8mm Ø RAWLBOLTS.
 BOLTS TO BE AT 300mm C/C.
 BARRIER TO BE EXTENDED INTO EAVES VOID TO MAKE
 COMPLETE SEAL AGAINST FASCIA, SOFFIT AND BRICKWORK.

ACCESS HATCH IN CAVITY BARRIER:
 12mm SUPALUX SCREWED TO 35x25 S.W. STOPS
 WITH 40mm N°8 SCREWS AT 300mm C/C.
 PANEL SIZE - 600x600mm.
 STOPS SCREWED TO 75x50 S.W. FRAMING
 FIXED BETWEEN RAFTER AND JOIST WITH
 75x50 S.W. NOGGINS AT HORIZONTAL
 PANEL EDGES.

RECEIVED
 20 APR 1990
 DOWNEY AND SUTLER
 FOR: []
 BY: []
 DATE: []
 TIME: []

24/c/10

Parcell Miller Tritton and Partners
 Architects, Surveyors and Design Consultants
 St. Mary's Hall, Rawstorn Road, Colchester, Essex CO3 3JH. Telephone: 0206-549487

PMT

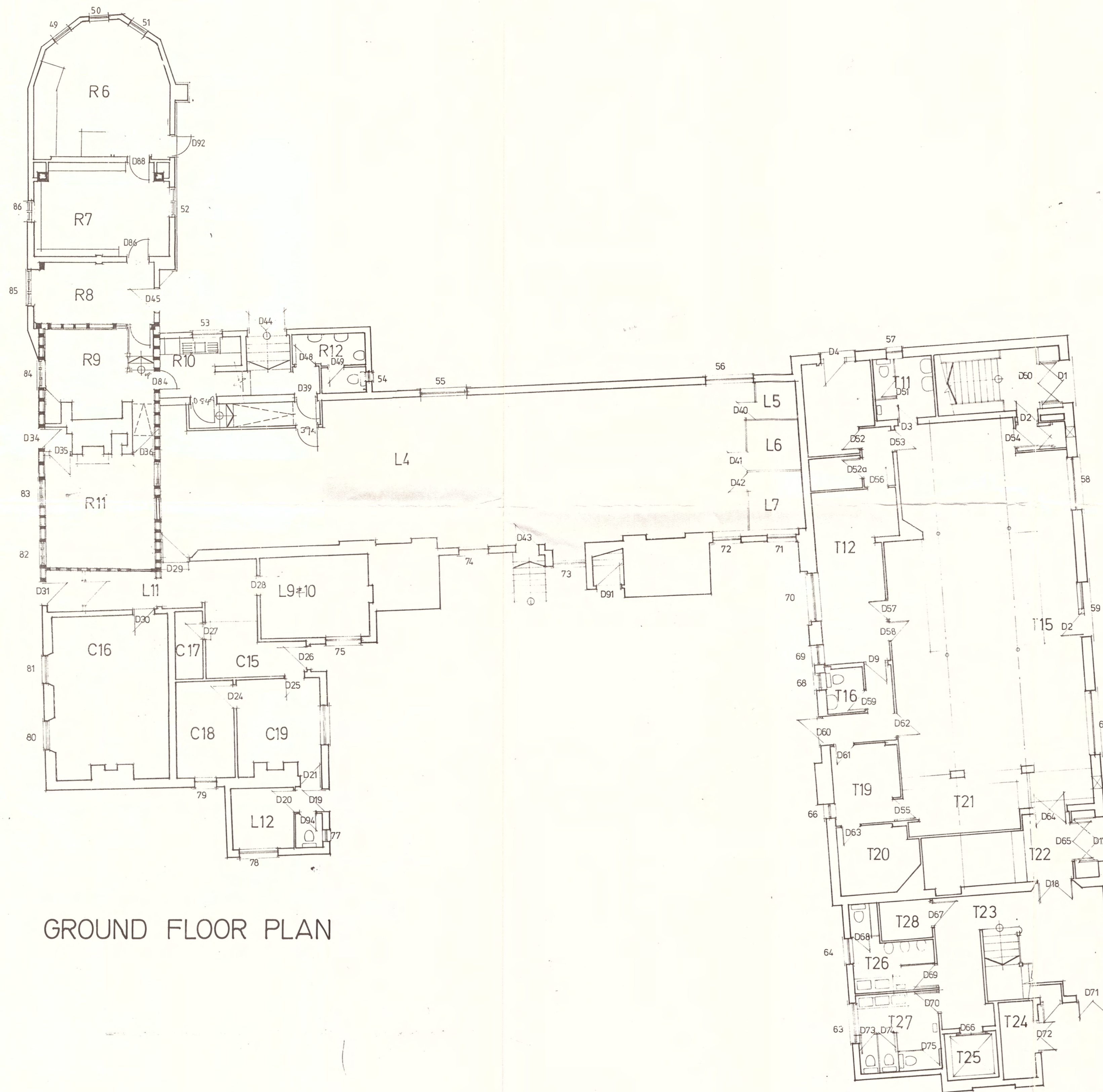
Job HADLEIGH GILDHALL

Drawn JUNE 1989

Title ROOF PLAN:- SHOWING CAVITY BARRIERS

Scale 1:50

7233 47



GROUND FLOOR PLAN

CONTRACT DOCUMENT

24/1/02
PLEASE INITIAL
gwy

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Job Hadleigh Guildhall

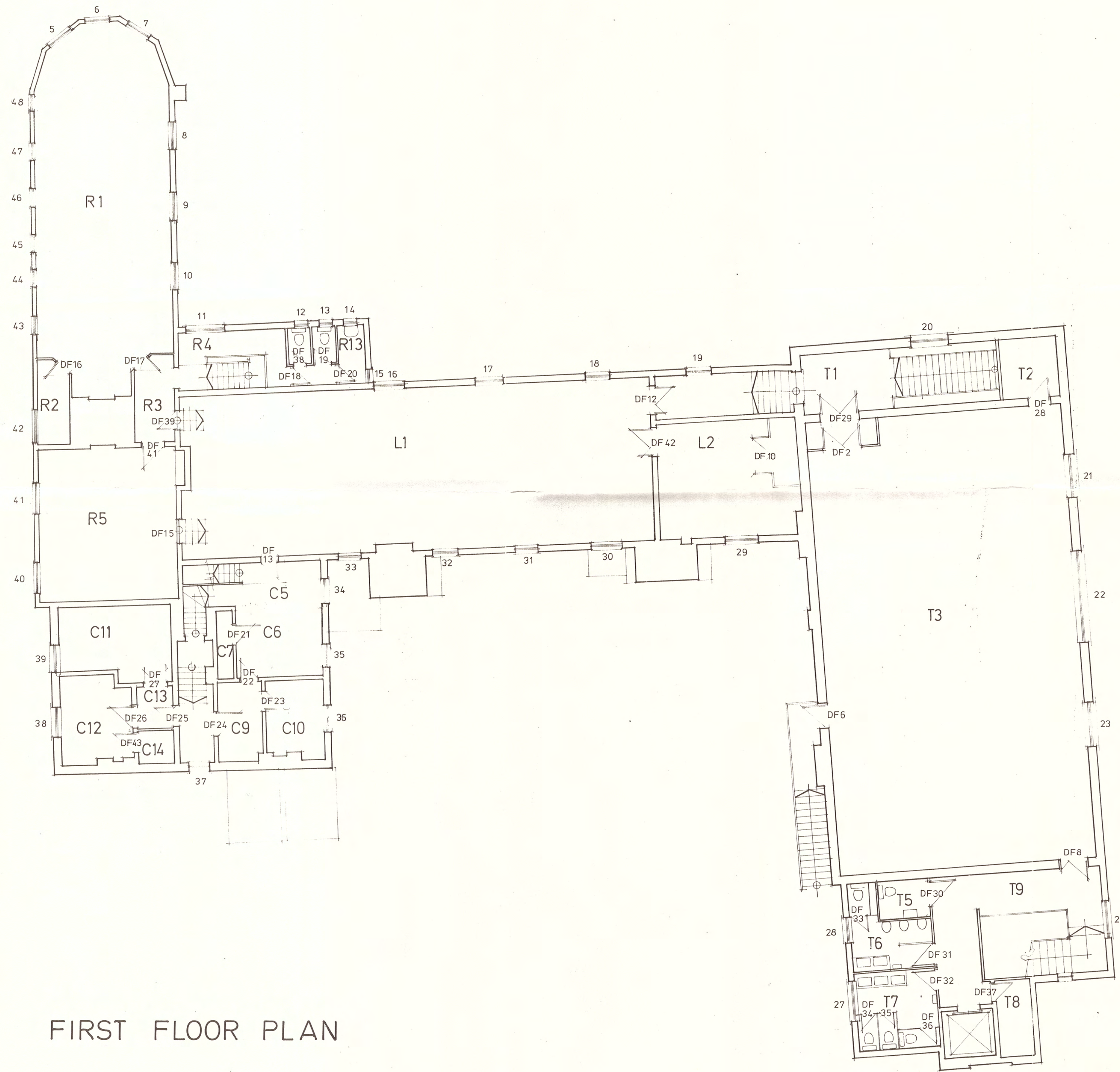
Title Plans as Existing

Drawn

Scale 1:100

7233B 02

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FIRST FLOOR PLAN

PLEASE INITIAL
gwy

2w/a kot
CONTRACT DOCUMENT

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Job HADLEIGH GUILDHALL

Drawn MARCH 1991

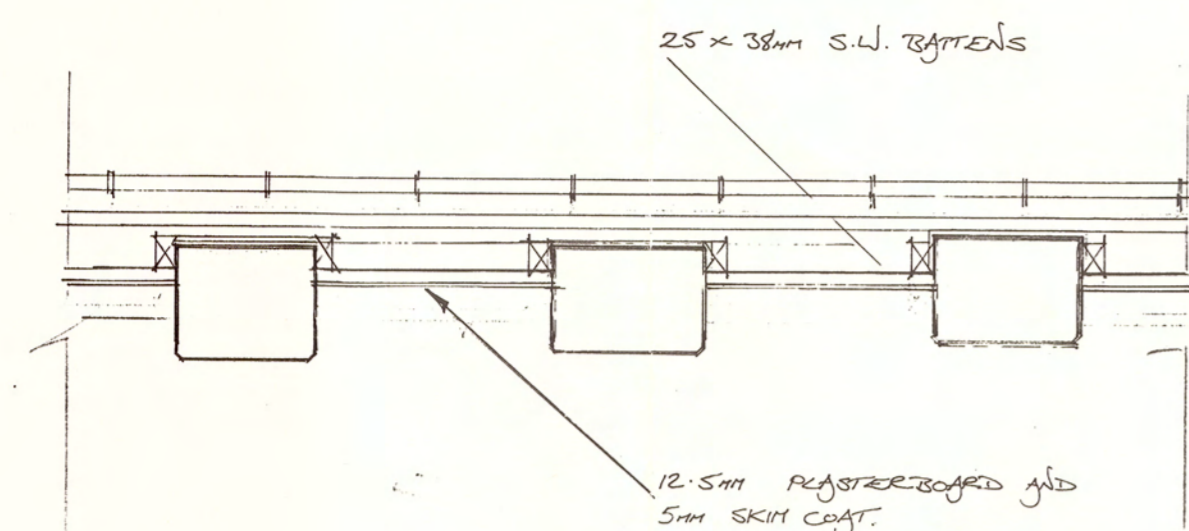
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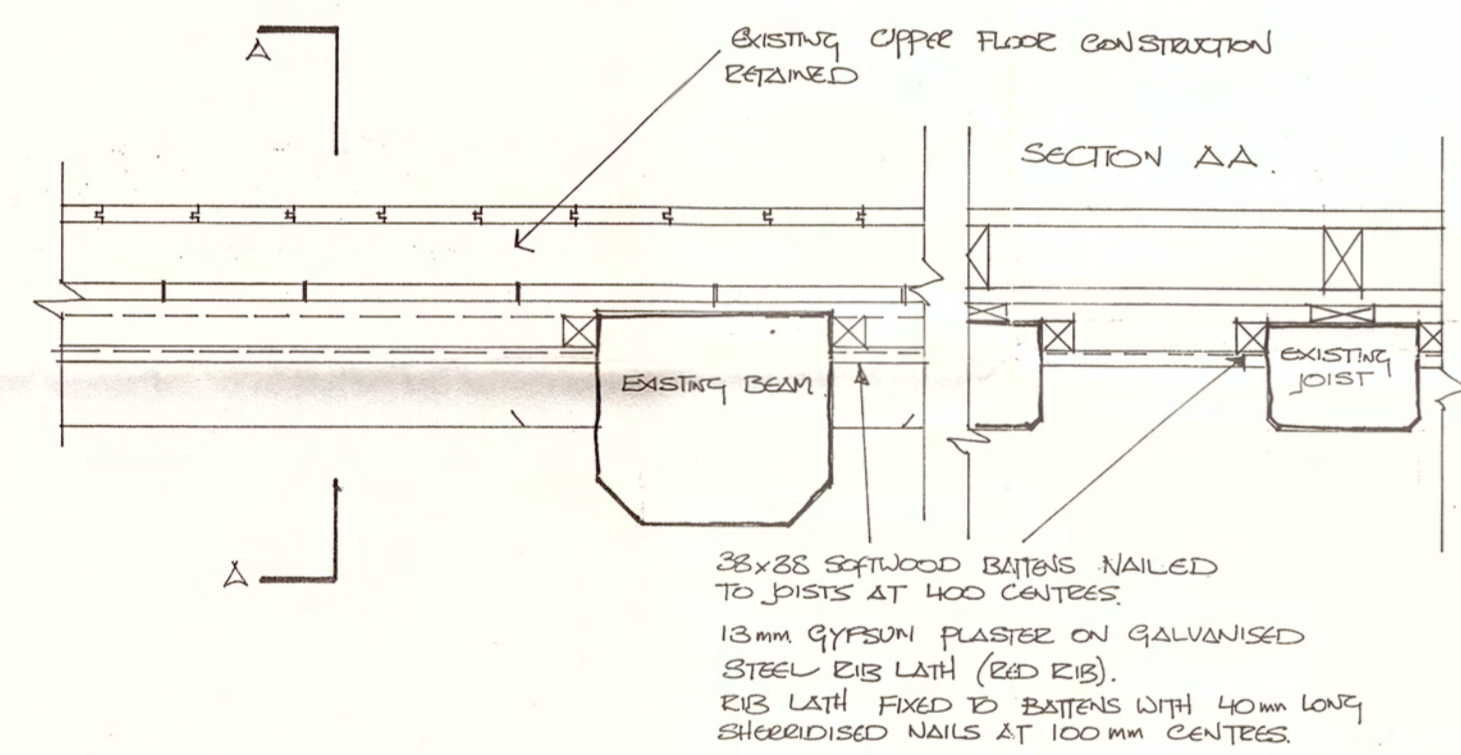
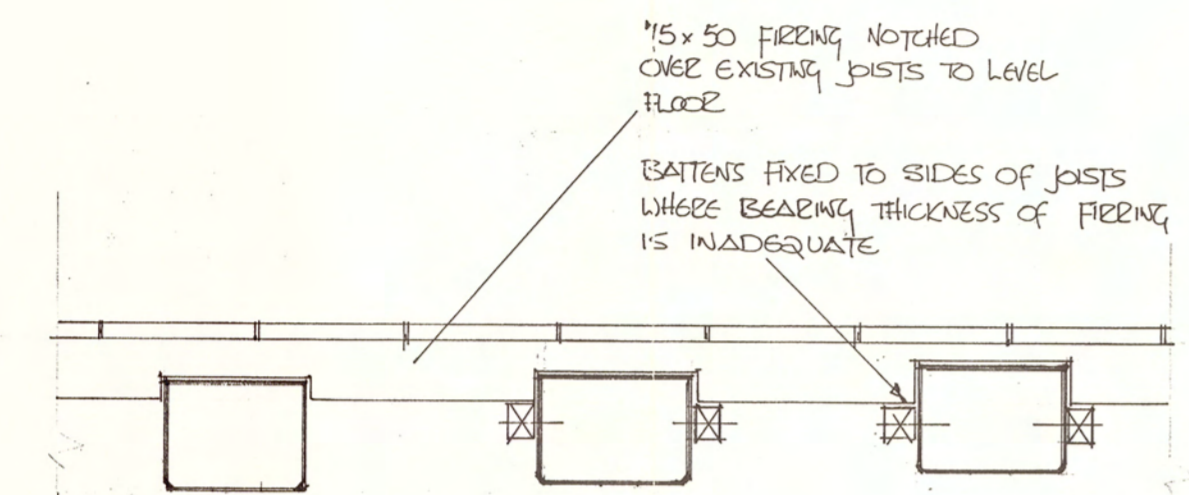
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7233B.03

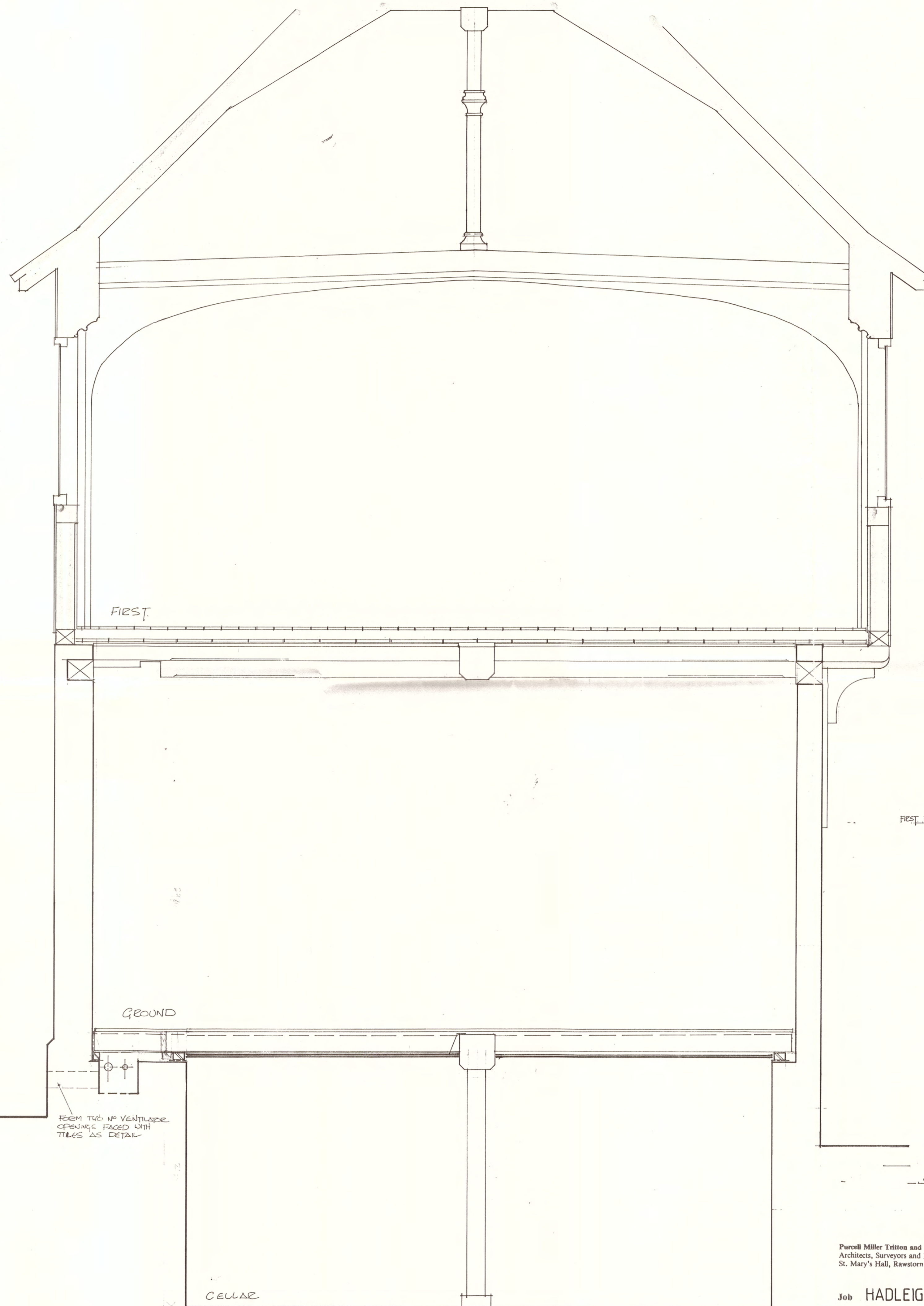
ALTERNATIVE AT
FIRST FLOOR



DETAIL WHERE
EXISTING JOISTS
UNEVEN



DETAIL OF FIRST FLOOR



FIRST FLOOR OF NEW TOWN HALL

GROUND FLOOR OF NEW TOWN HALL

PLEASE INITIAL
qwg

CONTRACT DOCUMENT

24 Aug '93 - removal of 200mm girths.

24/8/93
PMT

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Architects, Surveyors and Design Consultants
St. Mary's Hall, Rawstorn Road, Colchester, Essex CO3 3JH. Telephone: 0206 544487

Job HADLEIGH GUILDHALL PHASE III

Drawn SNJM 11-90

Title TYPICAL SECTION

Scale

7233/B 04

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